



**TOWN OF PURCELLVILLE
BOARD OF ARCHITECTURAL REVIEW**

February 16, 2016
7:30 p.m.

- 1) **Call to Order** – Pat Giglio, Chairman
- 2) **Public Comments** – Citizens who are not representing an application before the Board will be given an opportunity to speak (3 minute limit per speaker)
- 3) **Action Items – Additions, Alterations & Demolitions:**
 - a) CDA16-01 130 South 20th Street Renovation
- 4) **Action Items – Amendments:**
 - a) None
- 5) **Action Items – New Construction:**
 - a) CDA15-08 Catoctin Corner Building 6A-6B
 - b) CDA15-09 Catoctin Corner Building 3-4
 - c) CDA16-02 Catoctin Corner Building 1A-1B-2
 - d) CDA16-03 Southern States
 - e) CDA16-04 Dragon Yong-In Dumpster Enclosure
- 6) **Action Items – Other:**
 - a) None
- 7) **Discussion Items**
 - a) Draft Bylaws
- 8) **Information Items**
 - a) None
- 9) **Approval of Minutes:**
 - a) November 17, 2015 Regular Meeting
 - b) December 15, 2015 Regular Meeting
- 10) **Adjournment**

If you require any type of reasonable accommodation as a result of physical, sensory or mental disability in order to participate in this meeting OR if you would like an expanded copy of this agenda, please contact the Department of Community Development at (540) 338-2304 at least twenty-four hours in advance of the meeting. Expanded copies of the agenda may not be available the night of the meeting, please request a copy in advance.

USE OF ELECTRONIC DEVICES DURING MEETINGS For the comfort and consideration of others, all cellular phones must be turned off and cannot be used in the Council Chambers. Pagers must be set on silent or vibrate

mode. This is requested because of potential interference with our recording devices and the transmittal of our hearing impaired broadcast.

NOTE: Due to the cancelation of the January 25th BAR meeting due to inclement weather and the size limitations of the Town's website, only those items which are new for the February 16th meeting have been included in this packet. See the [January 25th BAR agenda packet](#) for the remaining documents.



STAFF REPORT

TO: Chairman and Members of the Board of Architectural Review
FROM: Daniel Galindo, AICP
RE: CDA16-03 Southern States
DATE: February 12, 2016

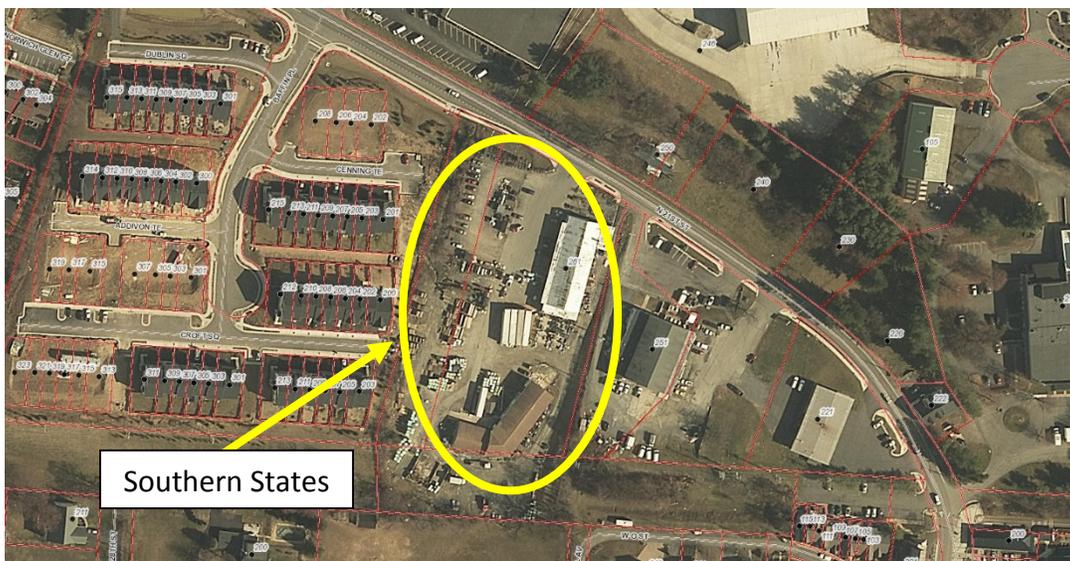
Name: Southern States Location: West of N 21st just north of downtown
Code: CDA16-03 Tax Map Number: /35A1/222///4/ & /35////////69B
Address: 261 North 21st Street Loudoun County PIN: 488-46-5723 & 488-46-4527
Located in the Historic District? Yes Contributing Structure? No
Zoning District: C-4/HC Conformity: N/A

Comments: Construction of 12,000 sf building to replace existing building constructed in the 1950s. Construction would be phased to allow the business to stay open during construction.

The application is evaluated under the C-4, Central Commercial District regulations (see Article 4, Section 9 in the Zoning Ordinance), Design Criteria of the Historic Corridor Overlay District (see Article 14A, Section 8.1 in the Zoning Ordinance) and the Design Guidelines for the Town of Purcellville, Virginia (Guidelines).

BACKGROUND

The Southern States Purcellville Cooperative is planning to build a new 12,000 square foot retail and warehouse building at its existing location to replace the existing 1950s building which will be demolished. The proposed building would be 100' x 120' with a 10' x 100' entry porch. See the Written Description attached to the CDA application for further details about the proposed building design. Construction on the site will be phased, as shown on site plan TP14-01 currently under review by the Department of Community Development, to allow the business to stay open throughout construction. Because the existing building does not qualify as a historic structure under the definition contained within Article 14A, Section 2.4 of the Zoning Ordinance, BAR approval of its demolition is not required. An earlier building design was previously reviewed in April 2014 as CDA14-04.



ZONING ANALYSIS: C-4

The proposed building appears to meet all applicable standards for the zoning district's lot size, height, yard and setback standards. This will be confirmed during review of the submitted site plan prior to approval.

ZONING ANALYSIS: HISTORIC CORRIDOR OVERLAY

The proposed building would be approximately 40% larger than Southern States' existing building and represents a reinvestment in Purcellville by the company thereby generating business activity and augmenting the Town's tax base. The proposed architectural design incorporates some elements which are generally consistent with Purcellville's historic small town character. The proposed building uses harmonious materials, color, texture and treatment for all exterior walls.

GUIDELINES ANALYSIS

When the BAR had a preliminary discussion about CDA14-04 which proposed a similar design with different colors and details, the Board made the following comments and recommendations:

1. The parapet wall should be the same material and color as the building walls.
2. The edges of the parapet should extend further along the side of the building to create the appearance of more depth to the store front portion
3. The base of the front columns and the front vestibule may incorporate a stone or masonry base to protect from damage.
4. A stone or masonry water table may also be incorporated on the front elevation and side elevation of the store front portion
5. The front columns may be designed to appear as timber frame elements to create the appearance of a porch or agricultural structure with projecting rafter tails
6. The front columns may be boxed to form a square column
7. The store front vestibule and windows should include smaller divided lights.
8. Roofs should be dark color to match other buildings in historic district.
9. The front gable should incorporate either vertical board or horizontal siding the same color as the walls or retain the timber frame detail with the background color to match the walls.
10. Applicant should provide details of retaining wall, dumpster enclosures, canopy design and fences for garden center for review.
11. The mass of the side walls should be broken with architectural elements.

In addition, the following issues should be considered by the BAR while evaluating CDA16-03:

1. The submitted application materials has the following deficiencies:
 - a. No material specification sheets have been provided;
 - b. Details for the proposed external light fixtures are not provided; and
 - c. No design for the dumpster enclosure is provided.
2. Does the structure comply with the Guidelines' repeated emphasis that new structures should: "reflect the traditional architecture and character of the Town" (pg. 4), be "compatible with the prevailing and recognized historic architectural character of the surrounding area" (pg. 6), "incorporate those characteristics of the Town that exhibit a positive distinctive architectural style" (pg. 7) , and "respect Purcellville's historic architectural styles rather than be transplants of ubiquitous franchise architectural styles found across the country" (pg. 10)?
3. The proposed windows lack any of the articulations recommended by the Guidelines such as shutters, holdbacks, cornices and sills (pg. 15).
4. It is unclear whether the doors are accentuated with "simply detailed, high quality hardware, kickplates, [and] authentically styled locks and hardware" as recommended by the Guidelines (pg.17).

5. Aluminum doors and storefront framing are proposed for the building, but the Guidelines state a preference for wood (pg.17).
6. It is unclear if the proposed stone veneer for the column bases is real stone or an imitation product, and the Guidelines include imitation stone veneer within the list of “discouraged” building materials (pg. 18).
7. The Guidelines include the proposed metal siding within the list of “discouraged” building materials (pg. 18).
8. Exposed steel columns are proposed on the rear of the building, but these are not allowed by the Guidelines (pg. 19). (Note that the steel columns would be painted.)
9. The proposed columns on the rear of the building lack the traditional base and column expression encouraged by the Guidelines (pg. 19).
10. The placement of utility meters and boxes is not indicated on the submitted materials and must be clarified. The Guidelines encourage the placement of utility and mechanical equipment so that they are not seen from any public street; however, screening must be used when locating out of view is impossible. In addition, the applicant must ensure that all equipment on the roof, side of the building or on the ground is fully screened with architecturally compatible screening (pg. 19).
11. No design for the dumpster enclosure is provided with the application, but the Guidelines state that the enclosure should consist of quality materials compatible with the building design (pg. 19). The applicant must provide drawings for the dumpster enclosure.
12. The Guidelines echo the requirements of the Zoning Ordinance that “wall mounted light fixtures must have full cutoff shielding,” but details for the proposed light fixtures are not provided (pg. 28). The applicant must provide the manufacturer cut-sheets for all exterior light fixtures.

FINDINGS

1. The proposed design for Southern States satisfies the requirements of the C-4 zoning district.
2. The proposed design satisfies the design criteria of the Historic Corridor Overlay zoning district.
3. The proposed design is generally consistent with the Guidelines with the potential exceptions of the issues noted for BAR consideration.
4. The application has three deficiencies that must be corrected prior to approval.

RECOMMENDATION

Upon the correction of staff’s identified deficiencies and the BAR’s determination that the proposed design satisfactorily addresses the design criteria of the Historic Corridor Overlay District and Design Guidelines for the Town of Purcellville, Virginia, staff recommends that the BAR approve CDA16-03 Southern States.

ACTION

One of following sample motions should be used:

I move that the BAR approve CDA16-03 Southern States as presented.

-Or-

I move that the BAR approve CDA16-03 Southern States with the following required conditions:

- 1.
- 2.

3.

And/or the following recommendations:

1.

2.

-Or-

I move that the BAR not approve CDA16-03 Southern States for the following reasons:

1.

2.

3.



CERTIFICATE OF DESIGN APPROVAL

221 S. Nursery Avenue Purcellville, VA 20132
Phone: 540-338-2304 Fax: 540-338-7460

CDA # _____

Please fill out all information in order to ensure the scheduling of your agenda item

Street Address of Property: _____ Parcel #: _____
Owner Name: _____
Business Name: _____
Authorized Agent (if applicable): _____
Mailing Address: _____
Daytime Telephone Number (s): _____

Project Description

- New construction Addition Alteration Accessory Structure Demolition
 Repainting Minor Landscaping Structure CDA Amendment Other: _____

Contractor: _____
Address: _____ Phone: _____

Written Description

Describe clearly and in detail the nature of the project, including exact dimensions for materials to be used (e.g., width of siding, windows and window trim, etc.). Attach additional sheet, if necessary:

Acknowledgement of Responsibility

I understand that all CDA application materials must be complete and must be submitted fourteen (14) days before the BAR meeting date and that I or an authorized representative must be present at the meeting; otherwise consideration will be deferred to the following meeting. I agree to comply with the conditions of this certificate and all other applicable Town regulations and to pursue this project in strict conformance with the plans approved by the BAR. I also understand that the BAR or Town Staff may need to perform an inspection of my property as it relates to this application. I understand that no changes are permitted without prior approval of the Town, and that failure to follow approved plans is a violation of the Purcellville Town Code and Zoning Ordinance.

Signature of Owner or Authorized Agent: _____

Printed name: _____

See reverse side of this form for required submission materials. Applications will not be accepted for scheduling without all required materials. The submission deadline for complete applications is fourteen days prior to the meeting date.

CDA APPLICATION FORM (page 2 of 3)

MINIMUM SUBMISSION REQUIREMENTS: Please note that all of the following materials must be delivered to the Department of Community Development **14 days** prior to the BAR meeting or your application will be postponed until the following month's agenda. Include **12 copies** of the following information. Use the checklist below to ensure the application is complete. (Use N/A if item is not applicable to your project).

___ Application. ***12 copies of this application form, filled out in its entirety.***

___ Fee. ***All applicable fees must be paid to the Town before your agenda item is scheduled.***

___ Architectural Drawings – ***12 full size copies and one 11"x17" copy. FOLDED:***

All colors, materials and finishes shall be shown by notation or by use of accepted architectural symbols; Minimum scale: 1/4" = 1'

___ Dimensioned outline of the building

___ Dimensioned elevation of new construction and adjacent existing elevations

___ Site Plan(s) (for new construction and additions)

___ Site Section(s) (when requested by BAR)

___ Photographs – ***Provide at least 3 views of building site and adjacent area.***

___ Specifications of Exterior Materials – ***Please complete the attached Architectural Materials Checklist.***

Specifications to include, but not be limited to: Roofing, siding, windows & doors, trim work, color scheme, chimneys, shutters, utilities and mechanical equipment locations and specifications, exterior lighting, fencing, walls, and paving. (Include **color copies** of manufacturer's specification sheets.)

___ Demolition – ***See Demolition section of Purcellville Design Guidelines for requirements.***

NOTE: All materials submitted will become the property of the Town of Purcellville.

OFFICE USE ONLY: Date of Application: _____ **CDA#:** _____ **Fee:** _____ **Paid:** _____

BAR Action: Approval Conditional Approval Denial **Date:** _____

BAR Comments/Conditions: _____

Application Approved: _____ **Date:** _____

BAR Chairman

If Appealed, Town Council Action: Approved Denied **Date:** _____

Town Council Conditions: _____

THIS CERTIFICATE EXPIRES ONE YEAR FROM THE APPROVAL DATE IF THE AUTHORIZED ACTIVITY HAS NOT BEEN COMMENCED AND DILIGENTLY PURSUED. NO DEVIATIONS FROM THE APPROVED PLANS ARE PERMITTED WITHOUT PRIOR APPROVAL OF THE BAR.

FOR MINOR PROJECTS ONLY

Minor Project Exemption Approved: _____ **Date:** _____

Zoning Administrator

THIS EXEMPTION EXPIRES ONE YEAR FROM THE APPROVAL DATE IF THE AUTHORIZED ACTIVITY HAS NOT BEEN COMMENCED AND DILIGENTLY PURSUED. ISSUANCE OF A MINOR PROJECT EXCLUSION SHALL NOT RELIEVE THE APPLICANT, CONTRACTOR, TENANT OR PROPERTY OWNER FROM OBTAINING ANY OTHER REQUIRED PERMIT.

CDA APPLICATION FORM (page 3 of 3)

Architectural Materials Checklist:

This checklist is intended to assist you in preparing your application to the Board of Architectural Review. This is not intended to replace your application or any other requirements of the Design Guidelines and Standards.

Foundation:

Material: (example: Brick, Stone, Concrete, etc.) _____

Color: _____

Roofing:

Material: (example: standing seam metal, shingles, shakes, etc.) _____

Color: (example: copper, prefinished, painted, etc.) _____

Exterior Wall Surfaces:

Material(s): (example: brick, stucco, hardiplank siding, board and batten, etc.)

Color(s): _____

Windows and Doors:

Window/Door Type: (example: Aluminum storefront, Double Hung, Casement, etc.)

Window/Door Material: (example: Wood, aluminum clad, vinyl clad, etc.)

Muntins (example: true divided, simulated divided, etc.)

Other Materials: (to include but not be limited to shutters, trim, porches, chimneys, etc.)

Material(s): _____

Color(s): _____

For Alterations and Renovations – If any changes are proposed to an existing structure’s materials and/or color scheme, please outline them below (attach a separate sheet, if needed):

WRITTEN DISCRPTION

Southern State Purcellville Cooperative has plans to construct a new 12,000 square feet retail and warehouse building in order to replace the current 1950s building which shall be demolished. The construction of the new building and site work will be phased in order to allow the Cooperative to remain open throughout the construction.

The new building is 100 feet wide by 120 feet long with 10 feet by 100 feet entry porch. The entry porch and main building roofs will be standing metal seam.

North Elevation (Main Entrance): The entry porch (10' x 100') will have a standing seam shed roof with a reverse gable supported by steel columns. The steel columns will be wrapped with a 2'-6" high stone base with the rest of the column wrapped in cedar and stained.

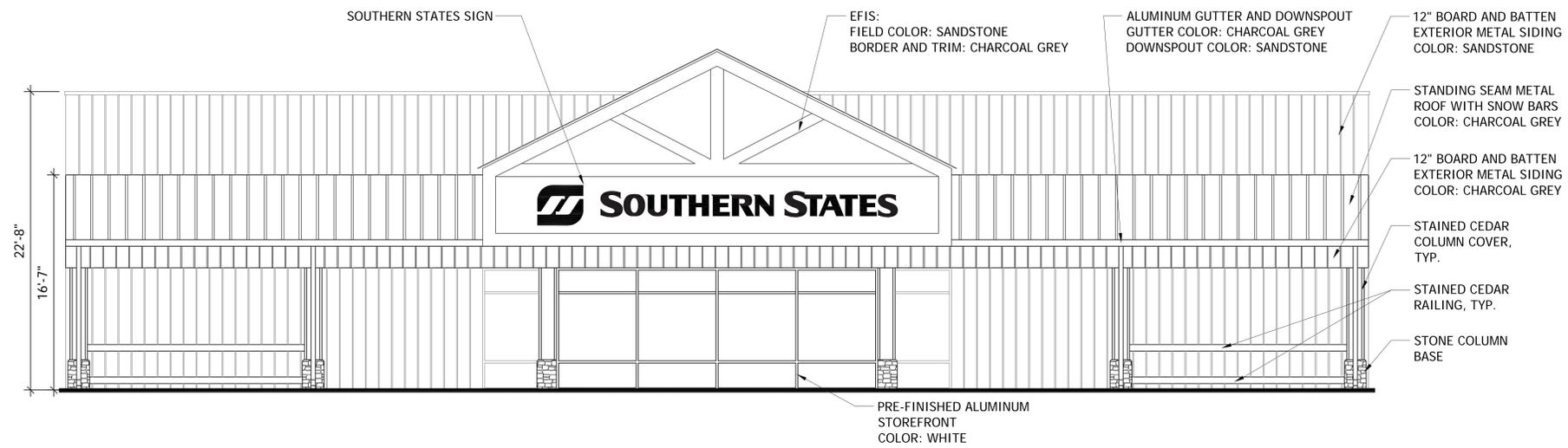
The siding material will utilize a board and batten look pre-finished metal panel 12 inches wide. The reverse gable above the front entrance shall be constructed of a stucco look material. The entrance doors and windows will be a pre-finished aluminum storefront with vertical and horizontal divisions. Downspouts will be pre-finished aluminum.

West Elevation: The façade is articulated by a vertical definition of the structural bays using a stone base and stained cedar column cover. The siding utilized between the columns will be the board and batten look pre-finished metal panel 12 inches wide.

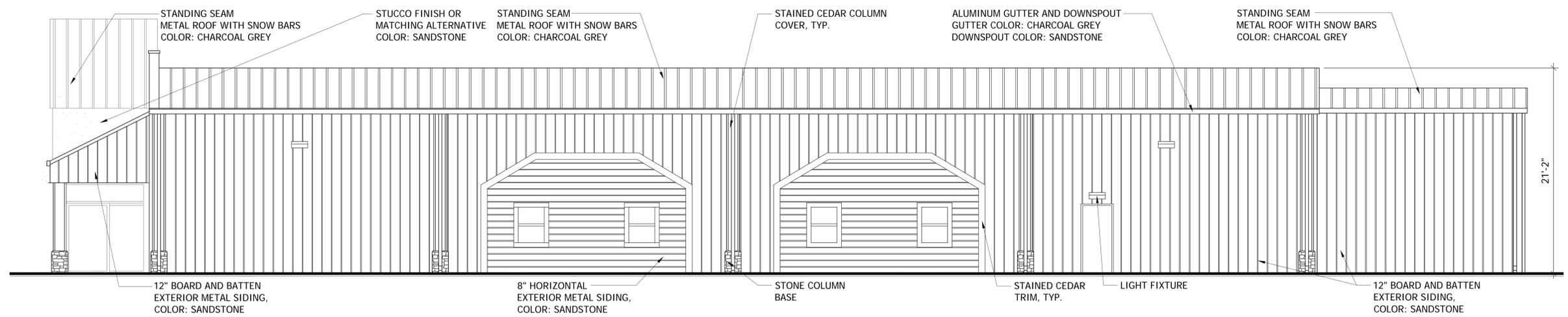
A pair of windows and window like recesses will further articulate the two central bays. The remaining two bays will be articulated with recesses defined by the use of horizontal prefinished aluminum siding. Downspouts will be pre-finished aluminum.

East Elevation: This elevation's dominant feature is the outdoor patio that will be used to highlight and display seasonal items. The façade will also be articulated by the vertical definition of the structural bays and the use of the board and batten look pre-finished metal panel 12 inches wide. The doors will be pre-finished aluminum storefront. Downspouts will be pre-finished aluminum. The air handling equipment will be screened with a 6 feet high-prefinished metal board and batten panels.

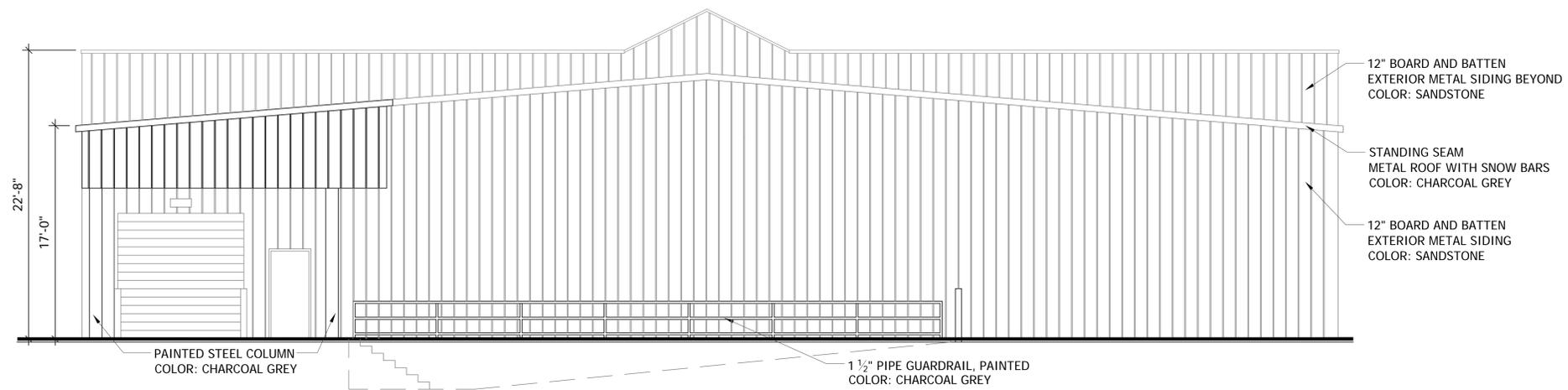
South Elevation (Loading Area): This façade will also utilize the board and batten look pre-finished metal panel 12 inches wide. The loading dock and access door will be prefinished gray. The columns for the loading dock canopy will be painted gray.



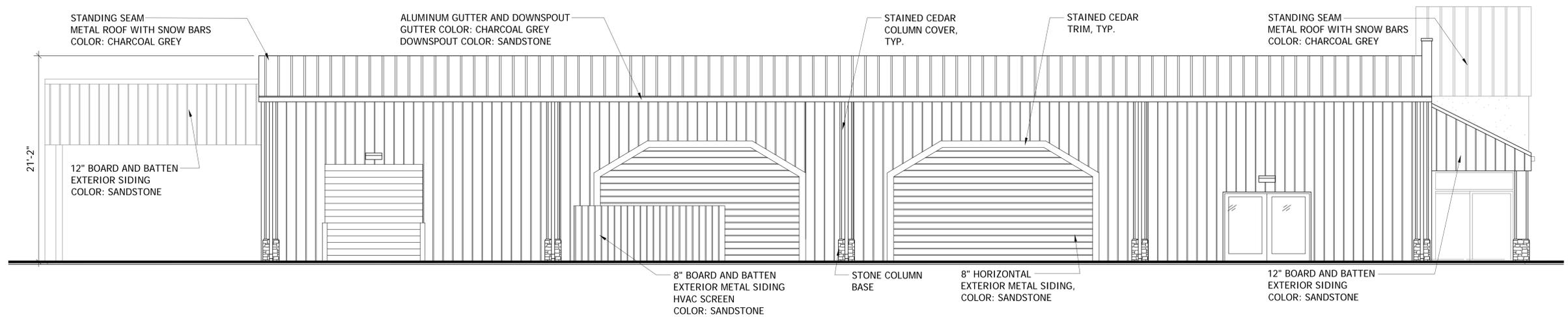
North Elevation



West Elevation



South Elevation



East Elevation





North Elevation



West Elevation

Color Samples



CHARCOAL GREY



SANDSTONE



SW CEDAR STAIN



WHITE



COLUMN BASE STONE SAMPLE



EXAMPLE: BOARD & BATTEN STYLE METAL PANELS



EXAMPLE: BOARD & BATTEN STYLE METAL PANELS

STAFF REPORT

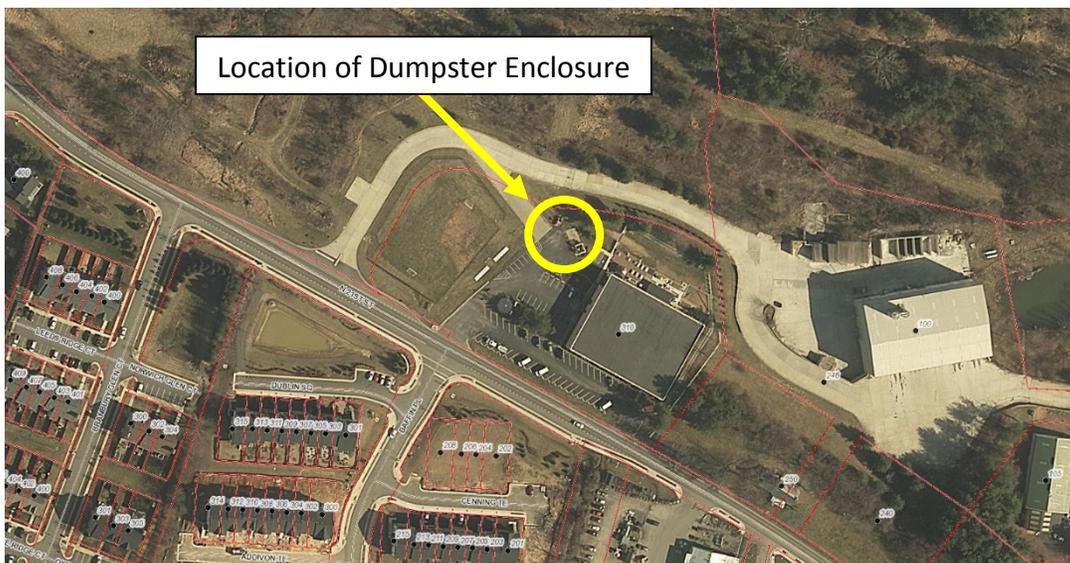
TO: Chairman and Members of the Board of Architectural Review
FROM: Daniel Galindo, AICP
RE: CDA16-04 Dragon Yong-In Dumpster Enclosure
DATE: February 12, 2016

Name:	<u>Dragon Yong-In Dumpster Enclosure</u>	Location:	<u>East of N 21st just north of downtown</u>
Code:	<u>CDA16-04</u>	Tax Map Number:	<u>/35 ///////////////12B</u>
Address:	<u>261 North 21st Street</u>	Loudoun County PIN:	<u>488-46-5275</u>
Located in the Historic District?	<u>No</u>	Contributing Structure?	<u>N/A</u>
Zoning District:	<u>C-4/HC</u>	Conformity:	<u>N/A</u>
Comments:	<u>Construction of a dumpster enclosure.</u>		

The application is evaluated under the C-4, Central Commercial District regulations (see Article 4, Section 9 in the Zoning Ordinance), Design Criteria of the Historic Corridor Overlay District (see Article 14A, Section 8.1 in the Zoning Ordinance) and the Design Guidelines for the Town of Purcellville, Virginia (Guidelines).

BACKGROUND

Dragon Yong-In Martial Arts is requesting approval of the design for a dumpster enclosure as a prerequisite to approval of the TP15-04 site plan. The enclosure would be 12' x 14' with a height of 6' with columns clad in brick or stone veneer and wood fencing or gates between. The BAR has previously approved three Certificates of Design Approval for the site: CDA13-05 for repainting and new lighting on the main building, CDA14-06 for the construction of a deck and gazebo, and CDA14-08 for a storage shed.



ZONING ANALYSIS: C-4

The proposed dumpster enclosure appears to meet all applicable standards for the zoning district's lot size, height, yard and setback standards. This will be confirmed during review of the submitted site plan prior to approval.

ZONING ANALYSIS: HISTORIC CORRIDOR OVERLAY

The proposed dumpster enclosure is part of a site plan which would add additional outdoor recreation features to the Dragon Yong-In site thereby generating business activity and augmenting the Town's tax base. The proposed enclosure uses harmonious materials, color, texture and treatment for all exterior walls.

GUIDELINES ANALYSIS

The following issues should be considered by the BAR while evaluating CDA16-04:

1. The submitted application materials has the following deficiencies:
 - a. The submitted drawings are not drawn to the required minimum scale of 1/4"=1'; and
 - b. No material specification sheets have been provided.
2. Does the structure comply with the Guidelines' repeated emphasis that new structures should: "reflect the traditional architecture and character of the Town" (pg. 4), be "compatible with the prevailing and recognized historic architectural character of the surrounding area" (pg. 6), and "incorporate those characteristics of the Town that exhibit a positive distinctive architectural style" (pg. 7)?
3. The dumpster enclosure would be constructed of different materials with different colors than the main building, and the Guidelines encourage accessory structures to "blend and be consistent with the design of the primary structure" (pg. 9). In addition, the exact materials and colors proposed must be specified for clarity.
4. It is unclear if brick or stone veneer is actually being proposed although brick is shown on the submitted drawing. If stone veneer is proposed for the columns, the drawing must be revised. If that were the case, it is also unclear if the stone veneer would be real stone or an imitation product, and the Guidelines include imitation stone veneer within the list of "discouraged" building materials (pg. 18).
5. The Guidelines state that the enclosure should consist of quality materials compatible with the building design and/or recommends the use of masonry walls and metal doors at refuse areas (pg. 19).

FINDINGS

1. The proposed design for Dragon Yong-In Dumpster Enclosure satisfies the requirements of the C-4 zoning district.
2. The proposed design satisfies the design criteria of the Historic Corridor Overlay zoning district.
3. The proposed design is generally consistent with the Guidelines with the potential exceptions of the issues noted for BAR consideration.
4. The application has two deficiencies that must be corrected prior to approval.

RECOMMENDATION

Upon the correction of staff's identified deficiencies and the BAR's determination that the proposed design satisfactorily addresses the design criteria of the Historic Corridor Overlay District and Design Guidelines for the Town of Purcellville, Virginia, staff recommends that the BAR approve CDA16-04 Dragon Yong-In Dumpster Enclosure.

ACTION

One of following sample motions should be used:

I move that the BAR approve CDA16-04 Dragon Yong-In Dumpster Enclosure as presented.

-Or-

I move that the BAR approve CDA16-04 Dragon Yong-In Dumpster Enclosure with the following required conditions:

- 1.
- 2.
- 3.

And/or the following recommendations:

- 1.
- 2.

-Or-

I move that the BAR not approve CDA16-04 Dragon Yong-In Dumpster Enclosure for the following reasons:

- 1.
- 2.
- 3.



CERTIFICATE OF DESIGN APPROVAL

221 S. Nursery Avenue Purcellville, VA 20132
Phone: 540-338-2304 Fax: 540-338-7460

CDA # 16-04

Please fill out all information in order to ensure the scheduling of your agenda item

Street Address of Property: 310 N 21st Street Parcel #:
Owner Name: Brian Jo
Business Name: Dragon Yong In Martial Arts
Authorized Agent (if applicable): Kristen Cusat
Mailing Address: 310 N 21st Street, Purcellville VA 20132
Daytime Telephone Number (s): 540-333-1140

Project Description

- Project description checkboxes: New construction, Addition, Alteration, Accessory Structure (checked), Demolition, Repainting, Minor Landscaping Structure, CDA Amendment, Other.

Contractor: owner
Address:
Phone:

Written Description

Describe clearly and in detail the nature of the project, including exact dimensions for materials to be used (e.g., width of siding, windows and window trim, etc.). Attach additional sheet, if necessary:
A dumpster pad will be relocated on site. It will be built out of wood for the fencing with either a brick or stone veneer column post for the four corners of the structure. It will be 12'x14'x6" in size. Fence is 2"x6" battens and column post will be 12"x12"x6". Wood double swing doors will be located on the front of the structure facing 21st Street.

Acknowledgement of Responsibility
I understand that all CDA application materials must be complete and must be submitted fourteen (14) days before the BAR meeting date and that I or an authorized representative must be present at the meeting; otherwise consideration will be deferred to the following meeting. I agree to comply with the conditions of this certificate and all other applicable Town regulations and to pursue this project in strict conformance with the plans approved by the BAR. I also understand that the BAR or Town Staff may need to perform an inspection of my property as it relates to this application. I understand that no changes are permitted without prior approval of the Town, and that failure to follow approved plans is a violation of the Purcellville Town Code and Zoning Ordinance.

Signature of Owner or Authorized Agent: K Cusat
Printed name: Kristen Cusat

See reverse side of this form for required submission materials. Applications will not be accepted for scheduling without all required materials. The submission deadline for complete applications is fourteen days prior to the meeting date.

CDA APPLICATION FORM (page 2 of 3)

MINIMUM SUBMISSION REQUIREMENTS: Please note that all of the following materials must be delivered to the Department of Community Development **14 days** prior to the BAR meeting or your application will be postponed until the following month's agenda. Include **12 copies** of the following information. Use the checklist below to ensure the application is complete. (Use N/A if item is not applicable to your project).

___ Application. *12 copies of this application form, filled out in its entirety.*

___ Fee. *All applicable fees must be paid to the Town before your agenda item is scheduled.*

___ Architectural Drawings – *12 full size copies and one 11"x17" copy. FOLDED:*

All colors, materials and finishes shall be shown by notation or by use of accepted architectural symbols; Minimum scale: 1/4" = 1'

Dimensioned outline of the building

Dimensioned elevation of new construction and adjacent existing elevations

___ Site Plan(s) (for new construction and additions)

___ Site Section(s) (when requested by BAR)

___ Photographs – *Provide at least 3 views of building site and adjacent area.*

___ Specifications of Exterior Materials – *Please complete the attached Architectural Materials Checklist.*

Specifications to include, but not be limited to: Roofing, siding, windows & doors, trim work, color scheme, chimneys, shutters, utilities and mechanical equipment locations and specifications, exterior lighting, fencing, walls, and paving. (Include **color copies** of manufacturer's specification sheets.)

___ Demolition – *See Demolition section of Purcellville Design Guidelines for requirements.*

NOTE: All materials submitted will become the property of the Town of Purcellville.

OFFICE USE ONLY: Date of Application: 2/2/16 CDA#: 16-04 Fee: 50⁰⁰ Paid: MA

BAR Action: Approval Conditional Approval Denial Date: _____

BAR Comments/Conditions: _____

Application Approved: _____ Date: _____

BAR Chairman

If Appealed, Town Council Action: Approved Denied Date: _____

Town Council Conditions: _____

THIS CERTIFICATE EXPIRES ONE YEAR FROM THE APPROVAL DATE IF THE AUTHORIZED ACTIVITY HAS NOT BEEN COMMENCED AND DILIGENTLY PURSUED. NO DEVIATIONS FROM THE APPROVED PLANS ARE PERMITTED WITHOUT PRIOR APPROVAL OF THE BAR.

FOR MINOR PROJECTS ONLY

Minor Project Exemption Approved: _____ Date: _____

Zoning Administrator

THIS EXEMPTION EXPIRES ONE YEAR FROM THE APPROVAL DATE IF THE AUTHORIZED ACTIVITY HAS NOT BEEN COMMENCED AND DILIGENTLY PURSUED. ISSUANCE OF A MINOR PROJECT EXCLUSION SHALL NOT RELIEVE THE APPLICANT, CONTRACTOR, TENANT OR PROPERTY OWNER FROM OBTAINING ANY OTHER REQUIRED PERMIT.

CDA APPLICATION FORM (page 3 of 3)

Architectural Materials Checklist:

This checklist is intended to assist you in preparing your application to the Board of Architectural Review. This is not intended to replace your application or any other requirements of the Design Guidelines and Standards.

Foundation:

Material: (example: Brick, Stone, Concrete, etc.) column: Brick or stone veneer
Fence: wood concrete slab w/ concrete footing
Color: _____

Roofing:

Material: (example: standing seam metal, shingles, shakes, etc.) n/a

Color: (example: copper, prefinished, painted, etc.) _____

Exterior Wall Surfaces:

Material(s): (example: brick, stucco, hardiplank siding, board and batten, etc.)
Brick or stone veneer column
wood siding

Color(s): Brick - brown or stone veneer (to match on site, stone veneer)
Pressure treated wood fence siding painted light brown

Windows and Doors:

Window/Door Type: (example: Aluminum storefront, Double Hung, Casement, etc.) _____

Window/Door Material: (example: Wood, aluminum clad, vinyl clad, etc.) _____

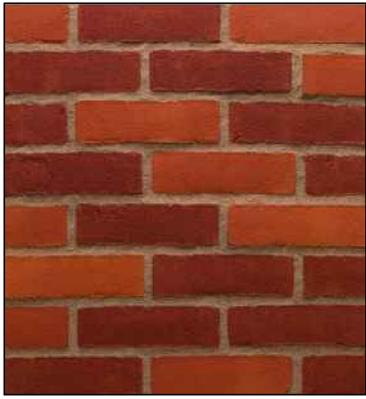
Muntins (example: true divided, simulated divided, etc.) _____

Other Materials: (to include but not be limited to shutters, trim, porches, chimneys, etc.)

Material(s): _____

Color(s): _____

For Alterations and Renovations – If any changes are proposed to an existing structure’s materials and/or color scheme, please outline them below (attach a separate sheet, if needed):



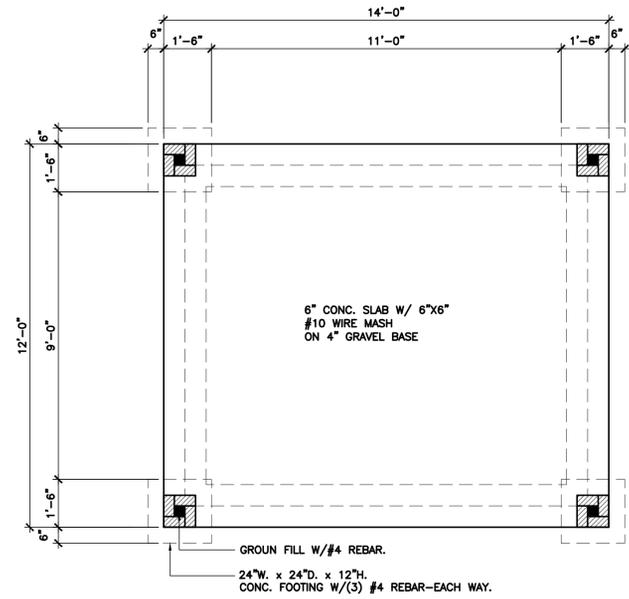
PROPOSED BRICK IMAGE

SCALE: NONE.
PRESSURE TREATED CEDAR TONE FENCE(BROWN)



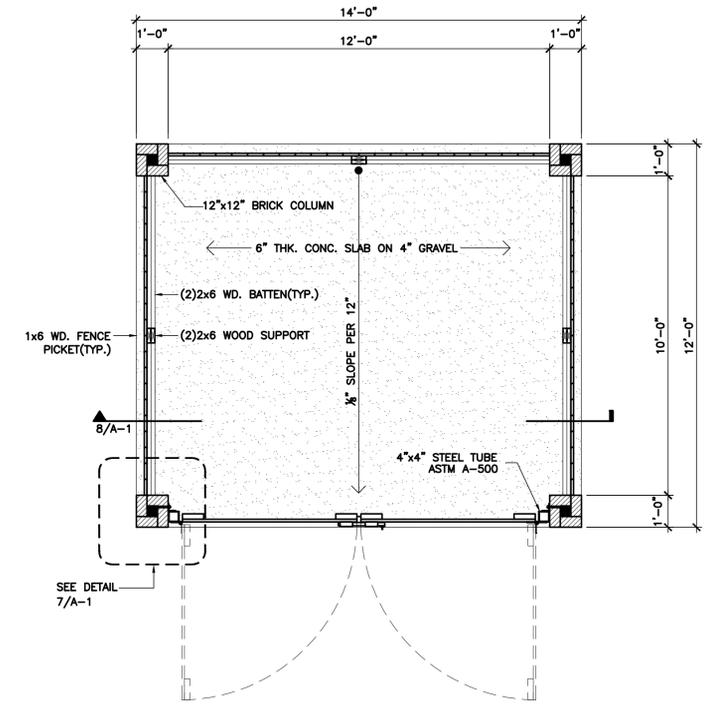
PROPOSED FENCE PICKET IMAGE

SCALE: NONE.
PRESSURE TREATED CEDAR TONE FENCE(BROWN)



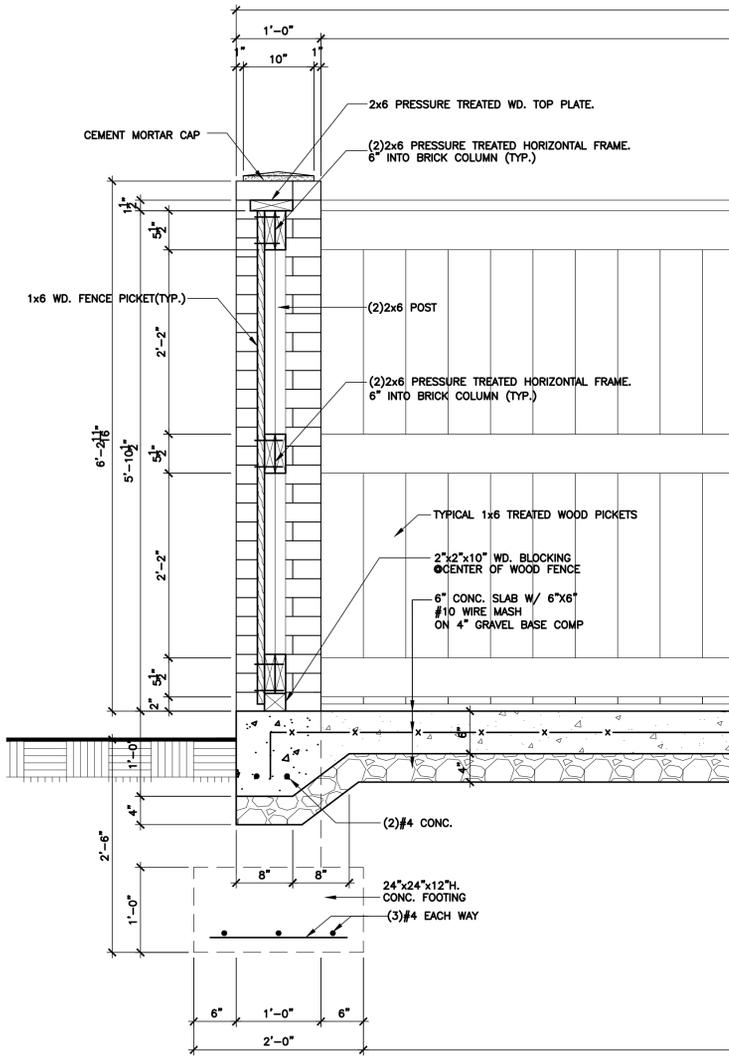
2/A-1 FOUNDATION PLAN

SCALE: 3/8"=1'-0"



1/A-1 FLOOR PLAN

SCALE: 3/8"=1'-0"

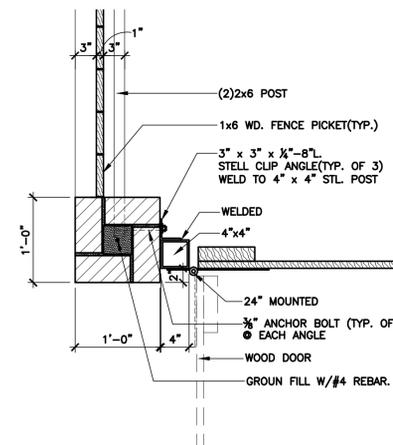


8/A-1 SECTION

SCALE: 1"=1'-0"

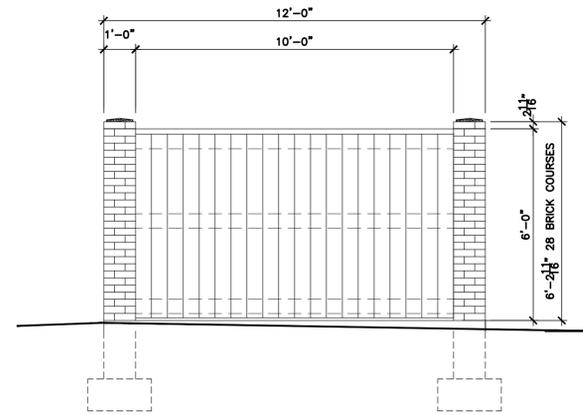
STRUCTURAL NOTES

- FOUNDATION:** Bottoms of all footings shall extend a minimum of one foot into undisturbed soil and where subject to frost action, at least 24 inches below finish grade. Footing elevations shall be adjusted as required to suit field conditions. All foundation work to be approved by building inspector or Professional Engineer prior to pouring concrete.
- CONCRETE:** All concrete shall conform to ACI code 318 and IRC code latest edition, 28 days strength shall be $f'_c = 3000$ psi for footings. All concrete shall be normal weight.
- CONCRETE PROTECTION FOR REINFORCEMENT:** Reinforcing bars and mesh to have minimum concrete cover as follows:
Concrete poured against earth - 3 inch. Formed concrete exposed to weather or in contact with earth: 2".
- REINFORCING STEEL:** All reinforcing steel to conform to ASTM A-615, Grade 60, welded wire mesh to conform to ASTM A-185. Fabricate and provide standard supporting accessories in accordance with the ACI Manual of Standard Practice for detailing reinforced concrete structures AC-315-99 and CRSI standards. Provide placing accessories in accordance with ACI recommendations.



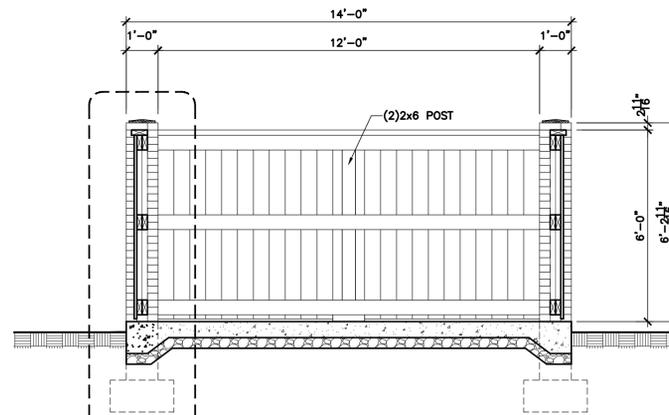
7/A-1 PLAN DETAIL

SCALE: 1"=1'-0"



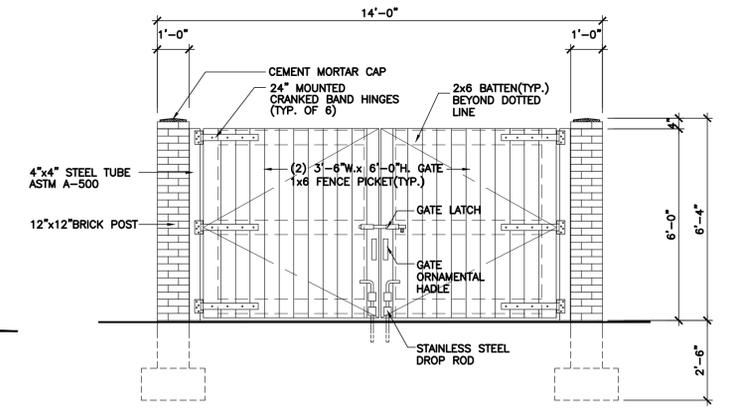
4/A-1 TYPICAL SIDE ELEVATION

SCALE: 3/8"=1'-0"



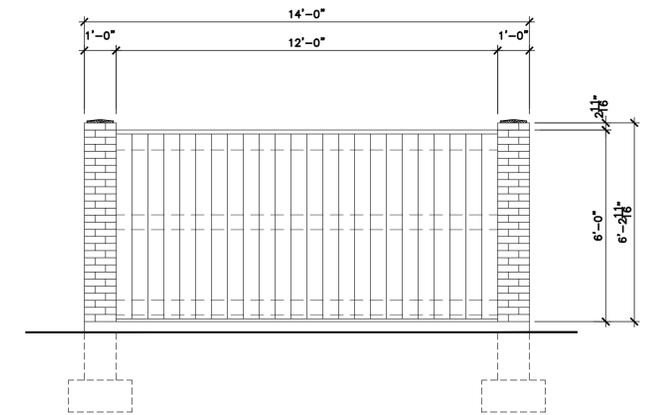
6/A-1 SECTION

SCALE: 3/8"=1'-0"



3/A-1 FRONT ELEVATION

SCALE: 3/8"=1'-0"



5/A-1 REAR ELEVATION

SCALE: 3/8"=1'-0"

ISSUED FOR

TAKWOONDO
DRAGON YONG-IN MARTIAL ARTS
310 N 21st STREET
PURCELLVILLE, VA. 20132

SHEET TITLE:
DUMPSTER FLOOR PLAN & ELEVATION

DRAWING NO.
A-1

YED
WITH
MKK
ARCHITECTS

MARYLAND OFFICE :
207 SHAW AVENUE
SILVER SPRING, MD. 20904

VIRGINIA OFFICE :
4115 ANNANDALE RD.
SUITE # 301
ANNANDALE, VA. 22003
PH.(703)851-7335

APPROVED: _____
CHECKED: _____
DRAFTED: _____
SCALE: AS SHOWN
DATE: 07/28/16

