

**LEGEND**

- LIMITS OF PROPERTY
- ZONING BOUNDARY LINE
- EXISTING STORM PIPE
- EXISTING BUILDING
- 255- EXISTING TWO FOOT CONTOUR
- 260- EXISTING TEN FOOT CONTOUR
- EXISTING STREAM
- ADJACENT OWNER LOT BOUNDARY
- EXISTING FENCE
- EXISTING GAS LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING UNDERGROUND FIBEROPTIC
- PROPOSED 6' TRAIL
- EXISTING WATERLINE
- EXISTING SANITARY SEWER
- APPROXIMATE LIMITS OF CLEARING AND GRADING (EXACT LOCATION OF LIMITS TO BE DETERMINED AT FINAL ENGINEERING)
- EXISTING WOODS LINE
- DENOTES SOIL TYPE
- EX. DRAINFIELD
- DELINEATED WETLANDS
- APPROXIMATE EXTENTS OF EXISTING VEGETATION TO BE PRESERVED (EXACT LOCATION OF EXTENTS TO BE DETERMINED AT FINAL ENGINEERING)
- OPEN SPACE
- 50'x50' MULTI-PURPOSE COURT
- TOT LOT
- PICNIC PAVILION

**SITE TABULATIONS:**

**UNIT COUNT:**  
 UNITS PERMITTED:  
 106 SINGLE FAMILY DETACHED  
 151 TOWNHOUSE  
 257 TOTAL UNITS  
 4.96 DWELLING UNITS/ACRE  
 UNITS PROPOSED:  
 102 SINGLE FAMILY DETACHED  
 151 TOWNHOUSE  
 253 TOTAL UNITS  
 4.88 DWELLING UNITS/ACRE

**PARKING TABULATION:**  
 SINGLE FAMILY DETACHED  
 2 OFF-STREET SPACES PER LOT (MIN.)  
 (204 OFF-STREET PARKING SPACES @ 102 UNITS)

TOWNHOUSE (SINGLE FAMILY ATTACHED)  
 2 OFF-STREET SPACES PER LOT (MIN.)  
 (302 OFF-STREET PARKING SPACES @ 151 UNITS; 48 ON-STREET PARKING SPACES)

**RECREATION LIST:**  
 (1) 2500 SF TOT LOT  
 (1) 50X50 MULTI-COURT  
 (1) 24X36 PICNIC PAVILION  
 5500 SF OF RECREATION AREA PROVIDED

**NOTES:**

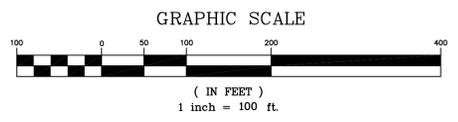
1. BROOKFIELD INTENDS TO CONSTRUCT A COMMUNITY IN AN ORDERLY FASHION AND IN SUCH A MANNER AS TO SIMULTANEOUSLY OFFER BOTH TOWNHOUSE AN SINGLE-FAMILY DWELLING UNITS. BROOKFIELD ANTICIPATES THAT THE COMMUNITY WILL BE FULLY DEVELOPED AND CONSTRUCTED TO INCLUDE THE RESIDENTIAL UNITS, RECREATIONAL FACILITIES AND ALL OTHER IMPROVEMENTS (BOTH ON AND OFF-SITE), AS DEPICTED ON THE CDP, WITHIN SIX (6) YEARS OF FIRST APPROVAL OF THE SITE PLAN TO ALLOW CONSTRUCTION OF THE COMMUNITY. FINAL COMPLETION, HOWEVER, WILL BE CONTINGENT UPON MARKET CONDITIONS AND PURCHASE OF THE RESIDENTIAL UNITS.
2. HANDICAPPED RAMPS FOR SIDEWALKS AT INTERSECTIONS WILL BE PROVIDED IN ACCORDANCE WITH VDOT STANDARDS AND SPECIFICATIONS.
3. EXTENSION OF ACCESS FROM E. NICHOLS LANE MAY DECREASE THE OPEN SPACE SHOWN HEREON, BUT IN NO EVENT WILL THE OPEN SPACE PROVIDED BE LESS THAN THE AMOUNT REQUIRED BY ORDINANCE UNLESS PROPERLY MODIFIED IN ACCORDANCE WITH TOWN RULES AND REGULATIONS.



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FINAL DEVELOPMENT PLAN  
**MAYFAIR**  
 FINAL DEVELOPMENT PLAN  
 BLUE RIDGE ELECTION DISTRICT TOWN OF PURCELLVILLE, VIRGINIA

PLAN STATUS		
DATE	DESCRIPTION	
PH DESIGN	JMM DRAWN	CMM CHKD
SCALE: H: 1"=100'		
JOB No. 5184-01-008		
DATE JANUARY, 2014		
FILE No. 5184-D-ZP-001		
SHEET 3 OF 9		

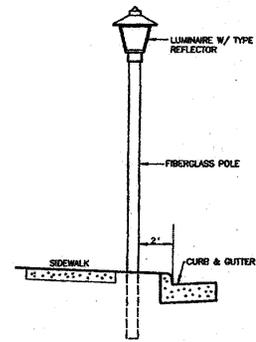


Code file name: P:\5184 - Autumn Hill\5184-01-008 (P&I) - Mayfair Final Development Plan\Planning\Final Development Plan\Sheets\3-CDP.dwg









LUMINAIRE (MIN.)	MOUNTING HEIGHT (FEET)
5000 LUMENS	14

### STREET LIGHT DETAIL

(NOT TO SCALE)

- NOTES: 1) THE HOA WILL BE RESPONSIBLE FOR MAINTAINING STREET LIGHTS
- 2) LIGHTING SHALL BE PROVIDED IN ACCORDANCE WITH THE PURCELLVILLE ZONING ORDINANCE, ARTICLE 6, SECTION 9.
- 3) ALL LIGHTING FIXTURES SHALL BE CUTOFF AND FULLY SHIELDED.

### STOP SIGN DETAIL



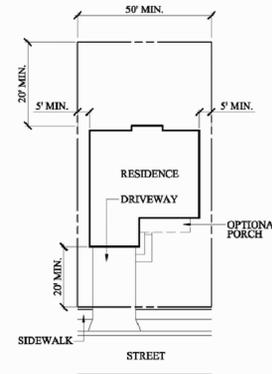
### HOUSING TYPICALS

#### SFD Unit Typical

The following table specifies the minimum standards for the SFD Unit type.

Minimum lot area	5000 sq. ft.
Minimum Lot Width:	50 ft.
Minimum Lot Depth:	100 ft.
Maximum building height	45 ft. (Max height at the peak of the roof)
Minimum setbacks:	
Front setback to house	20 ft.
Side	5 ft.
Both Side(s)	10 ft.
Corner lot (side)	10 ft.
Rear lot line to house	20 ft.
Rear lot line to garage (for detached garage)	5 ft.
Minimum setbacks for unroofed landings, porches, decks, steps, stoops, patios, chimneys, retaining walls four (4) feet or higher, as determined by the Building Code, and driveways constructed, all of which are greater than eight (8) inches above existing grade in any combination shall be:	
Front	15 ft.
Side	5 ft.
Corner lot (side)	10 ft.
Rear	8 ft.

Note: Rear yard privacy fencing and decking is intended to be placed in the rear yard area, and may not be forward of the rear plane of the house. Minimum building setbacks exclude architectural features such as, but not limited to, windows, sills, cornices, eaves, gutters, masonry veneer, and bay windows, but excluding floor area supported by cantilevered construction. No setback shall apply to unroofed patios, walkways, sidewalks, arcways, and driveways constructed eight (8) inches or less above existing grade within five (5) feet of said feature of the contour of the land.



### HOUSING TYPICALS

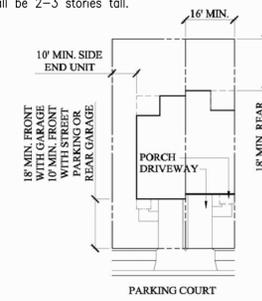
#### Townhouse Unit Typical

The following table specifies the minimum standards for the Townhouse Unit type.

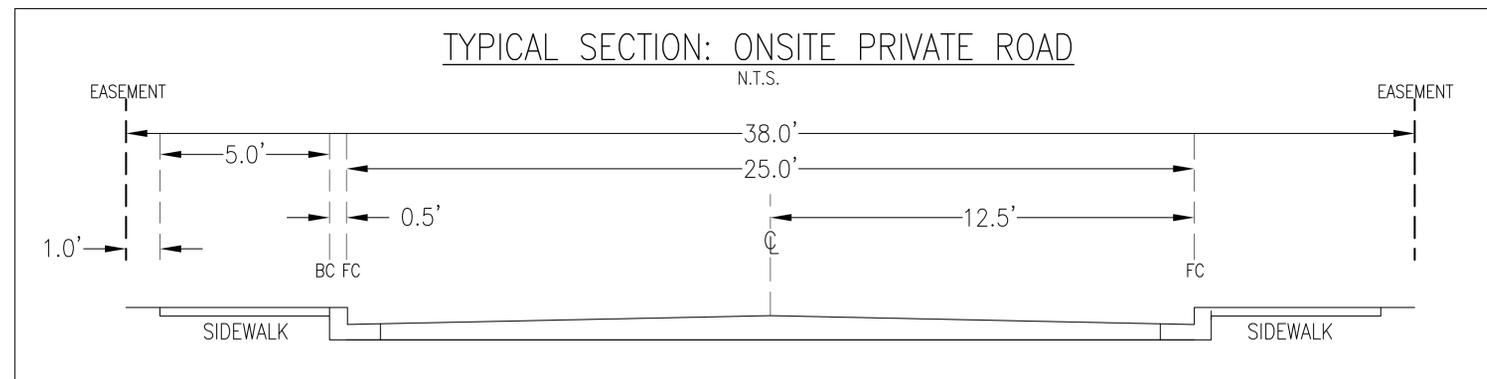
Minimum lot area	1200 sq. ft.
Minimum Lot Width:	16 ft.
Minimum lot width shall be 26 ft. for end and corner lots	
Minimum Lot Depth:	80 ft.
Maximum building height	45 ft. (Max height at the peak of the roof)
Maximum Lot Coverage	60%
Minimum setbacks:	
Front setback to house	10 ft.
Side (end unit)	10 ft.
Rear lot line to house	18 ft.
Rear lot line to garage (for detached garage)	5 ft.
Every dwelling unit shall have a minimum gross floor area of 1000 square feet with a minimum of 500 square feet per floor, exclusive of attic and exclusive of basements which are more than 50 percent underground. Building setback variations shall be at least 18 inches. The 20 foot open space between TH buildings includes on lot green space. No more than 80 lots shall abut a parking lot or access court. Two access connections shall serve no more than 160 lots. All private streets shall be at least 24 feet in pavement width, exclusive of parking.	
Minimum setbacks for unroofed landings, porches, decks, steps, stoops, patios, chimneys, retaining walls four (4) feet or higher, as determined by the Building Code, and driveways constructed, all of which are greater than eight (8) inches above existing grade in any combination shall be:	
Front	5 ft.
Side (end unit)	5 ft.
Rear	8 ft.

Note: Rear yard privacy fencing and decking is intended to be placed in the rear yard area, and may not be forward of the rear plane of the house. Minimum building setbacks exclude architectural features such as, but not limited to, windows, sills, cornices, eaves, gutters, masonry veneer, and bay windows, but excluding floor area supported by cantilevered construction. No setback shall apply to unroofed patios, walkways, sidewalks, arcways, and driveways constructed eight (8) inches or less above existing grade within five (5) feet of said feature of the contour of the land.

Note: Townhouse units shall be 2-3 stories tall.



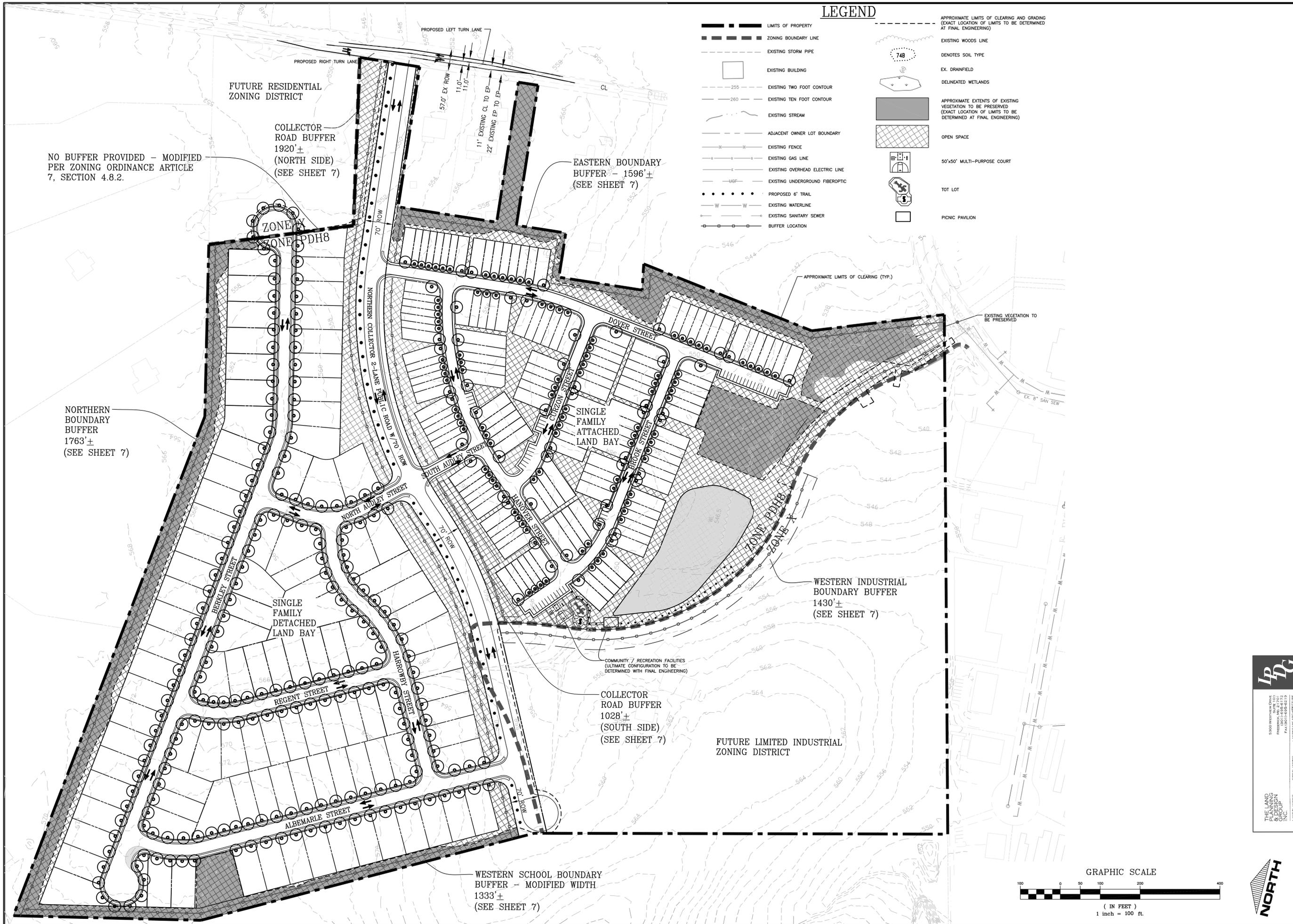
### TYPICAL SECTION: ONSITE PRIVATE ROAD



NOTES:

- SECTION ABOVE SHALL HAVE A MINIMUM CENTERLINE RADIUS OF 60'
- SECTION ABOVE SHALL HAVE A MINIMUM INTERSECTION SPACING OF 100'

PLAN STATUS	
DATE	DESCRIPTION
PH DESIGN	JMM DRAWN
	CMM CHKD
SCALE	H: V:
JOB No.	5184-01-008
DATE	JANUARY, 2014
FILE No.	5184-D-ZP-001
SHEET	7 OF 9



**LEGEND**

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- EXISTING BUILDING
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- • • PROPOSED 6' TRAIL
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NO BUFFER PROVIDED - MODIFIED PER ZONING ORDINANCE ARTICLE 7, SECTION 4.8.2.

COLLECTOR ROAD BUFFER 1920'± (NORTH SIDE) (SEE SHEET 7)

EASTERN BOUNDARY BUFFER - 1596'± (SEE SHEET 7)

NORTHERN BOUNDARY BUFFER 1763'± (SEE SHEET 7)

SINGLE FAMILY DETACHED LAND BAY

SINGLE FAMILY ATTACHED LAND BAY

WESTERN INDUSTRIAL BOUNDARY BUFFER 1430'± (SEE SHEET 7)

COLLECTOR ROAD BUFFER 1028'± (SOUTH SIDE) (SEE SHEET 7)

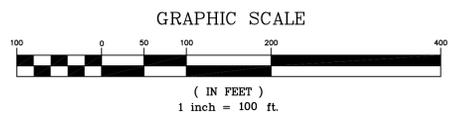
FUTURE LIMITED INDUSTRIAL ZONING DISTRICT

WESTERN SCHOOL BOUNDARY BUFFER - MODIFIED WIDTH 1333'± (SEE SHEET 7)

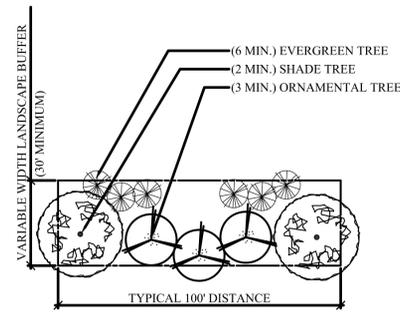
**LPDC**  
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PHONE: (540) 833-8275  
FAX: (540) 833-8276

PLAN STATUS		

DATE	DESCRIPTION
PH DESIGN	JMM
CMM DRAWN	CHKD
SCALE	H: 1"=100'
SCALE	V: 1"=100'
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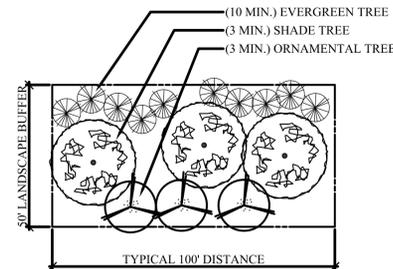
Code file name: P:\5184 - Autumn Hill\5184-01-008 (P&I) - Mayfair Final Development Plan\Planning\Final Development Plan\SheetA7 - LSP.dwg



**COLLECTOR ROAD BUFFER**  
SCALE: 1" = 30'

NOTE: EXISTING TREE SAVE MAY BE SUBSTITUTED IN LIEU OF BUFFER PLANTINGS WHEN THE TREE SAVE MEETS THE INTENT OF THE BUFFER PLANTINGS. EXACT PLANTING LOCATIONS MAY BE ADJUSTED AT TIME OF FINAL ENGINEERING. TOTAL PLANT QUANTITY REQUIREMENT BASED UPON OVERALL TOTAL BUFFER DISTANCE. EVERGREEN TREES AND ORNAMENTAL TREES ARE INTERCHANGEABLE IN MEETING THE TOTAL TREE QUANTITY REQUIREMENT OF NON-SHADE TREES PER 100 FT, PROVIDED THAT THERE WILL BE A MINIMUM OF SIX (6) EVERGREENS PER 100 FT.

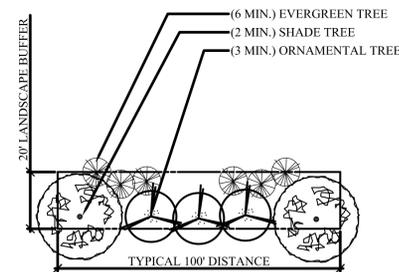
MIN. SPECIFICATIONS FOR PLANT MATERIAL WILL FOLLOW ZONING ORDINANCE ARTICLE 7, SECTION 6.3



**NORTHERN BOUNDARY BUFFER**  
SCALE: 1" = 30'

NOTE: EXISTING TREE SAVE MAY BE SUBSTITUTED IN LIEU OF BUFFER PLANTINGS WHEN THE TREE SAVE MEETS THE INTENT OF THE BUFFER PLANTINGS. EXACT PLANTING LOCATIONS MAY BE ADJUSTED AT TIME OF FINAL ENGINEERING. TOTAL PLANT QUANTITY REQUIREMENT BASED UPON OVERALL TOTAL BUFFER DISTANCE. EVERGREEN TREES AND ORNAMENTAL TREES ARE INTERCHANGEABLE IN MEETING THE TOTAL TREE QUANTITY REQUIREMENT OF NON-SHADE TREES PER 100 FT, PROVIDED THAT THERE WILL BE A MINIMUM OF SIX (6) EVERGREENS PER 100 FT.

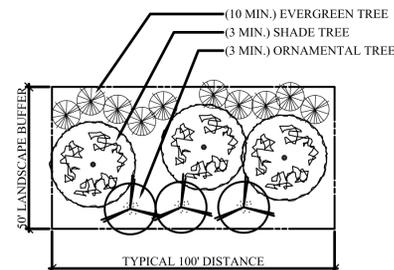
MIN. SPECIFICATIONS FOR PLANT MATERIAL WILL FOLLOW ZONING ORDINANCE ARTICLE 7, SECTION 6.3



**EASTERN BOUNDARY BUFFER**  
SCALE: 1" = 30'

NOTE: EXISTING TREE SAVE MAY BE SUBSTITUTED IN LIEU OF BUFFER PLANTINGS WHEN THE TREE SAVE MEETS THE INTENT OF THE BUFFER PLANTINGS. EXACT PLANTING LOCATIONS MAY BE ADJUSTED AT TIME OF FINAL ENGINEERING. TOTAL PLANT QUANTITY REQUIREMENT BASED UPON OVERALL TOTAL BUFFER DISTANCE. EVERGREEN TREES AND ORNAMENTAL TREES ARE INTERCHANGEABLE IN MEETING THE TOTAL TREE QUANTITY REQUIREMENT OF NON-SHADE TREES PER 100 FT, PROVIDED THAT THERE WILL BE A MINIMUM OF SIX (6) EVERGREENS PER 100 FT.

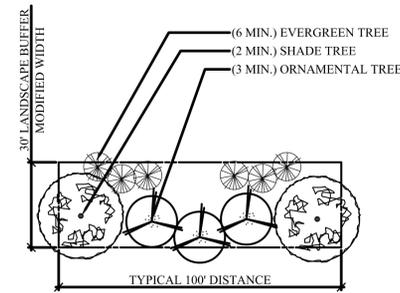
BUFFER MAY INCREASE BUT WILL MAINTAIN A MINIMUM WIDTH OF 20'.  
MIN. SPECIFICATIONS FOR PLANT MATERIAL WILL FOLLOW ZONING ORDINANCE ARTICLE 7, SECTION 6.3



**WESTERN INDUSTRIAL BOUNDARY BUFFER**  
SCALE: 1" = 30'

NOTE: EXISTING TREE SAVE MAY BE SUBSTITUTED IN LIEU OF BUFFER PLANTINGS WHEN THE TREE SAVE MEETS THE INTENT OF THE BUFFER PLANTINGS. EXACT PLANTING LOCATIONS MAY BE ADJUSTED AT TIME OF FINAL ENGINEERING. TOTAL PLANT QUANTITY REQUIREMENT BASED UPON OVERALL TOTAL BUFFER DISTANCE. EVERGREEN TREES AND ORNAMENTAL TREES ARE INTERCHANGEABLE IN MEETING THE TOTAL TREE QUANTITY REQUIREMENT OF NON-SHADE TREES PER 100 FT, PROVIDED THAT THERE WILL BE A MINIMUM OF SIX (6) EVERGREENS PER 100 FT.

MIN. SPECIFICATIONS FOR PLANT MATERIAL WILL FOLLOW ZONING ORDINANCE ARTICLE 7, SECTION 6.3



**WESTERN SCHOOL BOUNDARY BUFFER**  
SCALE: 1" = 30'

NOTE: EXISTING TREE SAVE MAY BE SUBSTITUTED IN LIEU OF BUFFER PLANTINGS WHEN THE TREE SAVE MEETS THE INTENT OF THE BUFFER PLANTINGS. EXACT PLANTING LOCATIONS MAY BE ADJUSTED AT TIME OF FINAL ENGINEERING. TOTAL PLANT QUANTITY REQUIREMENT BASED UPON OVERALL TOTAL BUFFER DISTANCE. EVERGREEN TREES AND ORNAMENTAL TREES ARE INTERCHANGEABLE IN MEETING THE TOTAL TREE QUANTITY REQUIREMENT OF NON-SHADE TREES PER 100 FT, PROVIDED THAT THERE WILL BE A MINIMUM OF SIX (6) EVERGREENS PER 100 FT.

MIN. SPECIFICATIONS FOR PLANT MATERIAL WILL FOLLOW ZONING ORDINANCE ARTICLE 7, SECTION 6.3

## NOTES

- EXISTING TREES WILL BE PRESERVED WHERE POSSIBLE BASED UPON FINAL ENGINEERING.
- ALL BUFFERS SHOWN WILL PRESERVE EXISTING TREES WHERE POSSIBLE BASED ON FINAL ENGINEERING.
- AS THE PROPERTY OWNER ON BOTH SIDES OF THE ZONING DISTRICT BOUNDARY, BROOKFIELD AGREES TO INSTALL A COMBINED LANDSCAPE BUFFER TOTALING 50 FEET, TO BE LOCATED ALONG THE WESTERN BOUNDARY ADJOINING THE SITE WHERE LIMITED INDUSTRIAL ZONING WILL BE REQUESTED IF THE PROPERTY IS ANNEXED. THIS 50 FOOT BUFFER MAY BE LOCATED EITHER ENTIRELY OR PARTIALLY ON EITHER SIDE OF THE ZONING BOUNDARY AS DETERMINED AT FINAL ENGINEERING. THIS BUFFER WILL PRESERVE EXISTING TREES WHERE POSSIBLE AND MAY INCORPORATE EARTHEN BERMS WITHIN THE 50 FOOT BUFFER BASED UPON FINAL ENGINEERING.
- FINAL OPEN SPACE PROVIDED MAY VARY BASED UPON FINAL ENGINEERING BUT WILL ALWAYS PROVIDE THE MINIMUM REQUIRED.
- MODIFICATIONS TO REQUIRED BUFFERS, WHERE NOTED OR OTHERWISE DESCRIBED HEREIN, ARE APPROVED BY THE ZONING ADMINISTRATOR, PURSUANT TO SECTION 4.8 OF THE TOWN OF PURCELLVILLE ZONING ORDINANCE, AND BY LETTER DATED DECEMBER 6, 2013.

## LANDSCAPE CALCULATIONS

### LANDSCAPE REQUIRED ON PUBLIC STREETS:

1 TREE / 40 LF OF STREET  
10400 LF / 40 = 260 TREES REQUIRED

### LANDSCAPE PROVIDED ON PUBLIC STREETS:

260 TREES PROVIDED

### NO TREE REQUIREMENT ON PRIVATE STREETS

### LANDSCAPE REQUIRED FOR (SFA) SINGLE FAMILY ATTACHED:

1 LARGE DECIDUOUS TREE / END UNIT  
1 SMALL DECIDUOUS TREE / INTERIOR UNIT  
52 END UNIT TREES REQUIRED  
99 INTERIOR UNIT TREES REQUIRED

### LANDSCAPE PROVIDED FOR SFA:

52 END UNIT TREES  
99 INTERIOR UNIT TREES

NOTES: ALL SFA TREES MAY BE PLACED IN FRONT OR REAR YARDS, AS SPACE PERMITS. IF SPACE DOES NOT PERMIT, TREE REQUIREMENTS FOR SFA MAY BE LOCATED IN COMMON GREEN AREAS.



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