

### ADJACENT OWNER LIST

MAP ID	PIN	TAX MAP	CURRENT OWNER	ADDRESS	ACREAGE	ZONE	USE
1	486160412000	/35//47//112/	HIGHTOWER, JOHN D & LORRAINE M TEES	16767 CHESTNUT OVERLOOK DR, PURCELLVILLE, VA 20132	5.98	JLMA3	SINGLE FAMILY
2	486163307000	/35//47//113/	BLACK, SCOTT M & LUCINDA	16799 CHESTNUT OVERLOOK DR, PURCELLVILLE, VA 20132	6.90	JLMA3	SINGLE FAMILY
3	486169323000	/35//47//115/	FARROW, DONALD & MARY GALLAGHER	16809 CHESTNUT OVERLOOK DR, PURCELLVILLE, VA 20132	6.72	JLMA3	SINGLE FAMILY
4	486171673000	/35//47//116/	CIABURRI, JEFFEREY & KELLY	16855 CHESTNUT OVERLOOK DR, PURCELLVILLE, VA 20132	6.45	JLMA3	SINGLE FAMILY
5	486174419000	/35//47//114/	STILLER, TIMOTHY G SR	16873 CHESTNUT OVERLOOK DR, PURCELLVILLE, VA 20132	7.00	JLMA3	SINGLE FAMILY
6	486189496000	/35//111//117/	G B M G LLP	2905 HUNTING HILLS CT, OAKTON, VA 22124 1743	119.12	JLMA3	AGRICULTURAL (FARM)
7	487388931000	/35//111//118/	WARNER, CECIL & T LATORRE TEES ETAL	17100 PURCELLVILLE RD, PURCELLVILLE, VA 20132	118.81	JLMA3	AGRICULTURAL (FARM)
8	487474936000	/35//111//114/	LIVESAY, GREGORY F & SALLY O C	16921 PURCELLVILLE RD, PURCELLVILLE, VA 20132	1.03	JLMA2	SINGLE FAMILY
9	487475223000	/35//111//113/	NORTON, HUGH RAYMOND	16937 PURCELLVILLE RD, PURCELLVILLE, VA 20132	1.03	JLMA2	SINGLE FAMILY
10	487475203000	/35//111//112/	BAKER, WILLIAM C JR & JENNIFER N	PO BOX 2578, PURCELLVILLE, VA 20134	1.43	JLMA2	SINGLE FAMILY
11	487373884000	/35//111//111/	BAKER, WILLIAM C JR & JENNIFER N	PO BOX 2578, PURCELLVILLE, VA 20134	1.63	JLMA2	SINGLE FAMILY
12	487375244000	/35//111//115/	COCKERILL, KELLY M & MARILYN JARVIS	19727 TELEGRAPH SPRINGS RD, PURCELLVILLE, VA 20132	7.15	JLMA3	SINGLE FAMILY
13	487275796000	/35//111//111/	DONOHUE, C LAVONNE & G COCHRAN TEES	PO BOX 798, VALLEY FORGE, PA 19482	1.70	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
14	487270472000	/35//111//115F	MAGNUM REAL ESTATE LP	150 MAIN ST, LANDISVILLE, PA 17538	2.00	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
15	487268676000	/35//111//114F	SCHULZE, PERRY L & DENISE E	40902 CAMELOT PL, LEESBURG, VA 20175	1.00	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
16	487266475000		CONDOMINIUM COMMON ELEMENT		1.39	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
16A	487266475001	/35//12CM//11A	MOORE, SUZANNE M.	714 IRVINE BANK LN, PURCELLVILLE VA 20132 3453	NA	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
16B	487266475002	/35//12CM//11B	HANSON, JOHN LJR & PATRICIA TEES	9440 LAKEBEND PRESERVE CT, BONITA SPRINGS, FL 34135 8198	NA	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
16C	487266475003	/35//12CM//11C	LIGHTNING BOLT LLC	19431 HARMONY CHURCH RD, LEESBURG VA 20175 9046	NA	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
16D	487266475004	/35//12CM//11D	COOK, JIMMY L & LINDA F	12 E RICHARDSON LN UNIT D, PURCELLVILLE VA 20132 3500	NA	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
16E	487266475005	/35//12CM//11E	WALSH, GERALD & NANCY S	PO BOX 877 PURCELLVILLE VA 20134 0877	NA	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
16F	487266475006	/35//12CM//11F	NESSERODTE PROPERTIES LLC	PO BOX 97 HAMILTON VA 20159 0097	NA	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
16G	487266475007	/35//12CM//11G	WALSH, GERALD L & NANCY S	PO BOX 877 PURCELLVILLE VA 20134 0877	NA	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
16H	487266475008	/35//12CM//11H	NASR, AHMED & SAMANTHA	604 KRISTIN CT SE, LEESBURG VA 20175 8979	NA	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
16I	487266475009	/35//12CM//11I	HANSON, JOHN LJR & PATRICIA TEES	10000 ORCHID RIDGE LN, BONITA SPRINGS, FL 34135 2039	NA	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
16J	487266475010	/35//12CM//11J	HANSON, JOHN LJR & PATRICIA TEES	10000 ORCHID RIDGE LN, BONITA SPRINGS, FL 34135 2039	NA	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
17	487264571000	/35//111//111F	WALSHS VIP AUTO SERVICE LLC	37216 E RICHARDSON LN, PURCELLVILLE, VA 20132	0.70	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
18	487262670000	/35//111//110F	STATEWIDE ENTERPRISES LLC	PO BOX 1038, STERLING, VA 20167	0.71	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL

### SOILS DESCRIPTIONS

TYPE	NAME	GROUP	SLOPE	CLASS	HYDRIC SOILS
10B	MONGLE LOAM	D	0-7%	IV	NO
22B	PURCELLVILLE-SWAMPOODLE COMPLEX	B	2-7%	II	NO
23B	PURCELLVILLE SILT LOAM	B	2-7%	I	NO
31B	PHILOMONT AND TANKERVILLE	B	2-7%	I	NO
38B	SWAMPOODLE SILT LOAM	C	1-7%	IV WP	NO

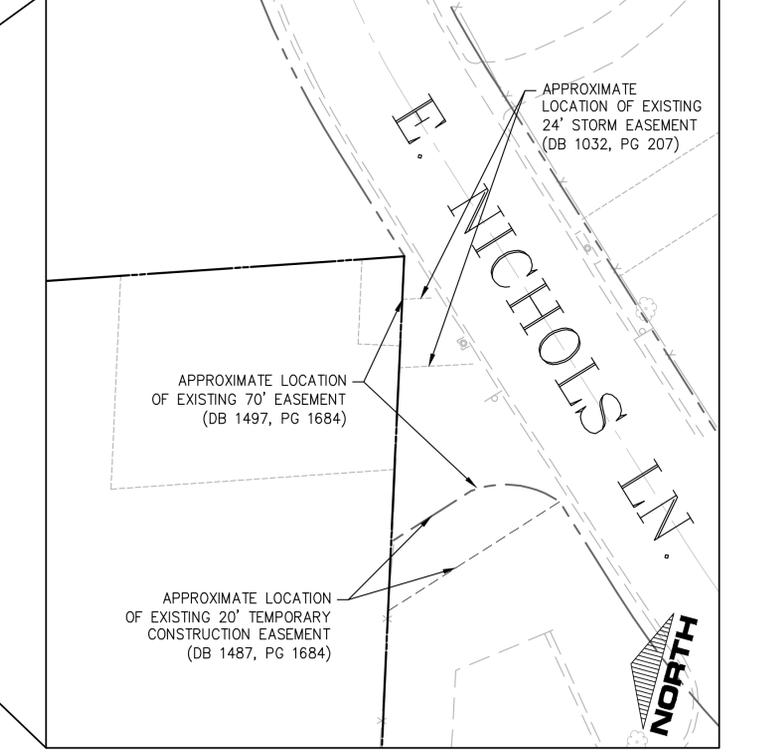
1. THE SUBJECT DEVELOPMENT SITE DOES CONTAIN CLASS IV SOIL, PER THE LATEST COUNTY SOILS MAP AND AS IDENTIFIED BY THE INTERPRETIVE GUIDE TO THE USE OF SOILS MAP, LOUDOUN COUNTY VIRGINIA.
2. THERE ARE NO STEEP SLOPES LOCATED WITHIN THE LIMITS OF THIS APPLICATION, PER LOUDOUN COUNTY GIS STEEP SLOPES DATA.
3. EXISTING ON-SITE STRUCTURES ARE TO BE DEMOLISHED.

### GENERAL VEGETATION DESCRIPTION

THE EXISTING VEGETATION WITHIN THE LIMITS OF THIS APPLICATION CONSISTS OF MOSTLY OPEN FIELD WITH MATURE HEDGEROWS SCATTERED THROUGHOUT. SMALLER POODS OF IMMATURE TO MATURE HARDWOOD FOREST ARE LOCATED IN THE NORTHWEST CORNER OF THE SITE WHILE A LARGER HARDWOOD FOREST EXISTS ALONG THE SOUTHEASTERN PORTION OF THE SITE AND EXTENDS ALONG THE EASTERN EDGE OF THE PROPERTY TO THE NORTHERN MOST PROPERTY LINE.

### EXISTING EASEMENTS ALONG E. NICHOLS LANE

SCALE: 1"=30'



### LEGEND

- LIMITS OF APPLICATION
- ZONING BOUNDARY LINE
- EXISTING BUILDING
- - - 255 EXISTING TWO FOOT CONTOUR
- - - 260 EXISTING TEN FOOT CONTOUR
- - - EXISTING STREAM
- - - ADJACENT OWNER LOT BOUNDARY
- - - EXISTING FENCE
- - - EXISTING GAS LINE
- - - EXISTING OVERHEAD ELECTRIC LINE
- - - EXISTING UNDERGROUND FIBEROPTIC
- - - EXISTING STORM PIPE
- - - EXISTING WOODS LINE
- DENOTES SOIL TYPE
- EX. DRAINFIELD
- - - DELINEATED WETLANDS
- - - EXISTING WATERLINE
- - - EXISTING SANITARY SEWER

# Bowman

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EXISTING CONDITIONS

MAYFAIR

FINAL DEVELOPMENT PLAN

TOWN OF PURCELLVILLE, VIRGINIA

BLUE RIDGE ELECTION DISTRICT

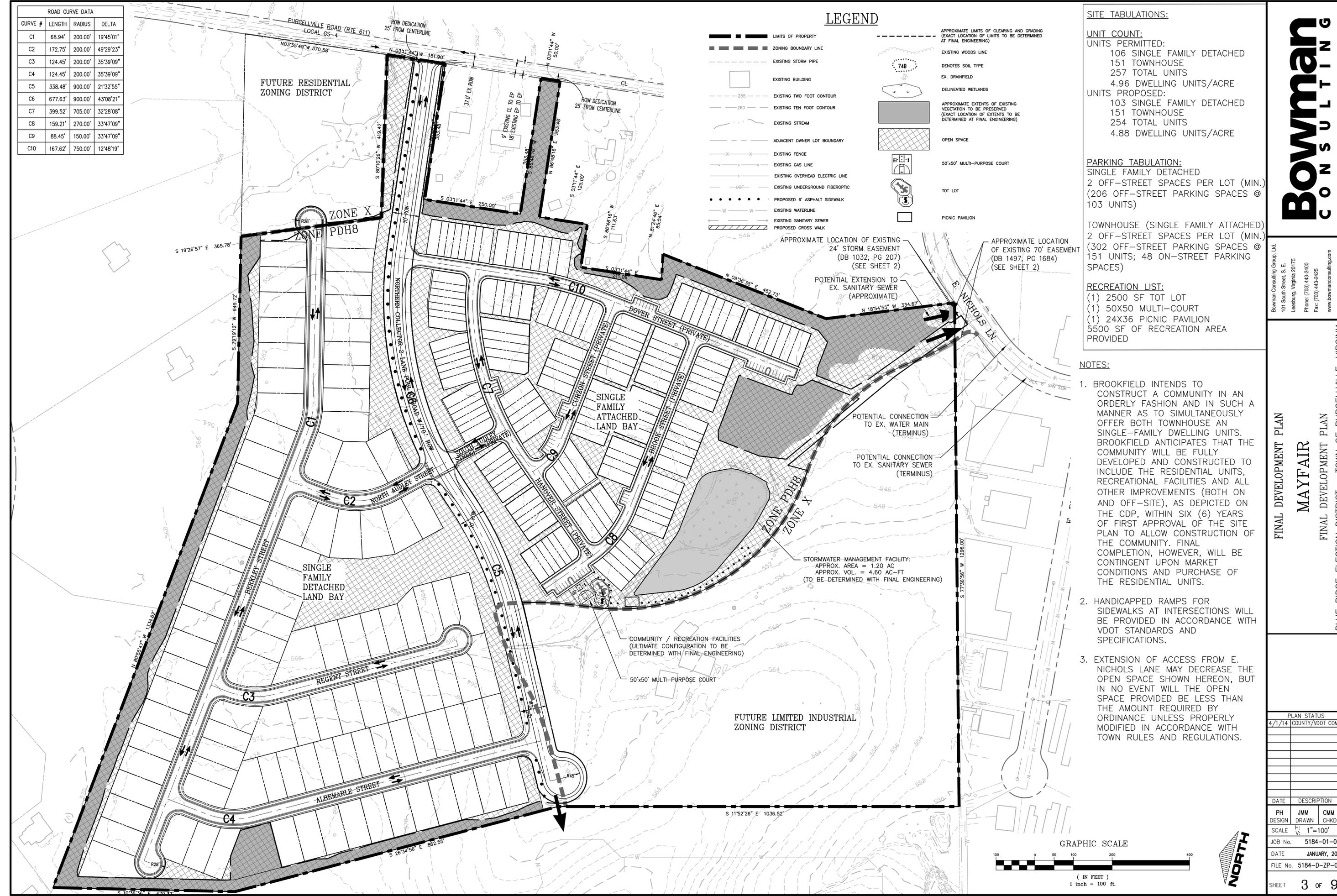
PLAN STATUS

DATE	DESCRIPTION
4/1/14	COUNTY/VDOT COMM.
PH DESGN	JMM DRAWN
SCALE	AS SHOWN
JOB No.	5184-01-008
DATE	JANUARY, 2014
FILE No.	5184-D-ZP-001

SHEET
2
OF 9

Doc file name: P:\5184-01-008 (PLAN) - Mayfair final Development Plan\Planning\Final Development Plan\Sheets\2-condition.dwg

ROAD CURVE DATA			
CURVE #	LENGTH	RADIUS	DELTA
C1	68.94'	200.00'	19°45'01"
C2	172.75'	200.00'	49°29'23"
C3	124.45'	200.00'	35°39'09"
C4	124.45'	200.00'	35°39'09"
C5	338.48'	900.00'	21°32'55"
C6	677.63'	900.00'	43°08'21"
C7	399.52'	705.00'	32°28'08"
C8	159.21'	270.00'	33°47'09"
C9	88.45'	150.00'	33°47'09"
C10	167.62'	750.00'	12°48'19"



**LEGEND**

- LIMITS OF PROPERTY
- ZONING BOUNDARY LINE
- EXISTING STORM PIPE
- EXISTING BUILDING
- - - 255 EXISTING TWO FOOT CONTOUR
- - - 260 EXISTING TEN FOOT CONTOUR
- EXISTING STREAM
- ADJACENT OWNER LOT BOUNDARY
- EXISTING FENCE
- EXISTING GAS LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING UNDERGROUND FIBEROPTIC
- PROPOSED 6" ASPHALT SIDEWALK
- EXISTING WATERLINE
- EXISTING SANITARY SEWER
- PROPOSED CROSS WALK
- APPROXIMATE LIMITS OF CLEARING AND GRADING (EXACT LOCATION OF LIMITS TO BE DETERMINED AT FINAL ENGINEERING)
- EXISTING WOODS LINE
- DENOTES SOIL TYPE
- EX. DRAINFIELD
- DELINEATED WETLANDS
- APPROXIMATE EXTENTS OF EXISTING VEGETATION TO BE PRESERVED (EXACT LOCATION OF EXTENTS TO BE DETERMINED AT FINAL ENGINEERING)
- OPEN SPACE
- 50'x50' MULTI-PURPOSE COURT
- TOT LOT
- PICNIC PAVILION

**SITE TABULATIONS:**

- UNIT COUNT:**  
 UNITS PERMITTED:  
 106 SINGLE FAMILY DETACHED  
 151 TOWNHOUSE  
 257 TOTAL UNITS  
 4.96 DWELLING UNITS/ACRE
- UNITS PROPOSED:  
 103 SINGLE FAMILY DETACHED  
 151 TOWNHOUSE  
 254 TOTAL UNITS  
 4.88 DWELLING UNITS/ACRE

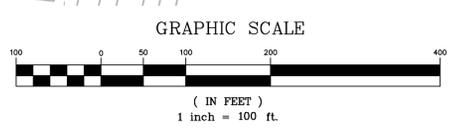
- PARKING TABULATION:**  
 SINGLE FAMILY DETACHED  
 2 OFF-STREET SPACES PER LOT (MIN.)  
 (206 OFF-STREET PARKING SPACES @ 103 UNITS)

- TOWNHOUSE (SINGLE FAMILY ATTACHED)  
 2 OFF-STREET SPACES PER LOT (MIN.)  
 (302 OFF-STREET PARKING SPACES @ 151 UNITS; 48 ON-STREET PARKING SPACES)

- RECREATION LIST:**  
 (1) 2500 SF TOT LOT  
 (1) 50X50 MULTI-COURT  
 (1) 24X36 PICNIC PAVILION  
 5500 SF OF RECREATION AREA PROVIDED

**NOTES:**

- BROOKFIELD INTENDS TO CONSTRUCT A COMMUNITY IN AN ORDERLY FASHION AND IN SUCH A MANNER AS TO SIMULTANEOUSLY OFFER BOTH TOWNHOUSE AN SINGLE-FAMILY DWELLING UNITS. BROOKFIELD ANTICIPATES THAT THE COMMUNITY WILL BE FULLY DEVELOPED AND CONSTRUCTED TO INCLUDE THE RESIDENTIAL UNITS, RECREATIONAL FACILITIES AND ALL OTHER IMPROVEMENTS (BOTH ON AND OFF-SITE), AS DEPICTED ON THE CDP, WITHIN SIX (6) YEARS OF FIRST APPROVAL OF THE SITE PLAN TO ALLOW CONSTRUCTION OF THE COMMUNITY. FINAL COMPLETION, HOWEVER, WILL BE CONTINGENT UPON MARKET CONDITIONS AND PURCHASE OF THE RESIDENTIAL UNITS.
- HANDICAPPED RAMPS FOR SIDEWALKS AT INTERSECTIONS WILL BE PROVIDED IN ACCORDANCE WITH VDOT STANDARDS AND SPECIFICATIONS.
- EXTENSION OF ACCESS FROM E. NICHOLS LANE MAY DECREASE THE OPEN SPACE SHOWN HEREON, BUT IN NO EVENT WILL THE OPEN SPACE PROVIDED BE LESS THAN THE AMOUNT REQUIRED BY ORDINANCE UNLESS PROPERLY MODIFIED IN ACCORDANCE WITH TOWN RULES AND REGULATIONS.



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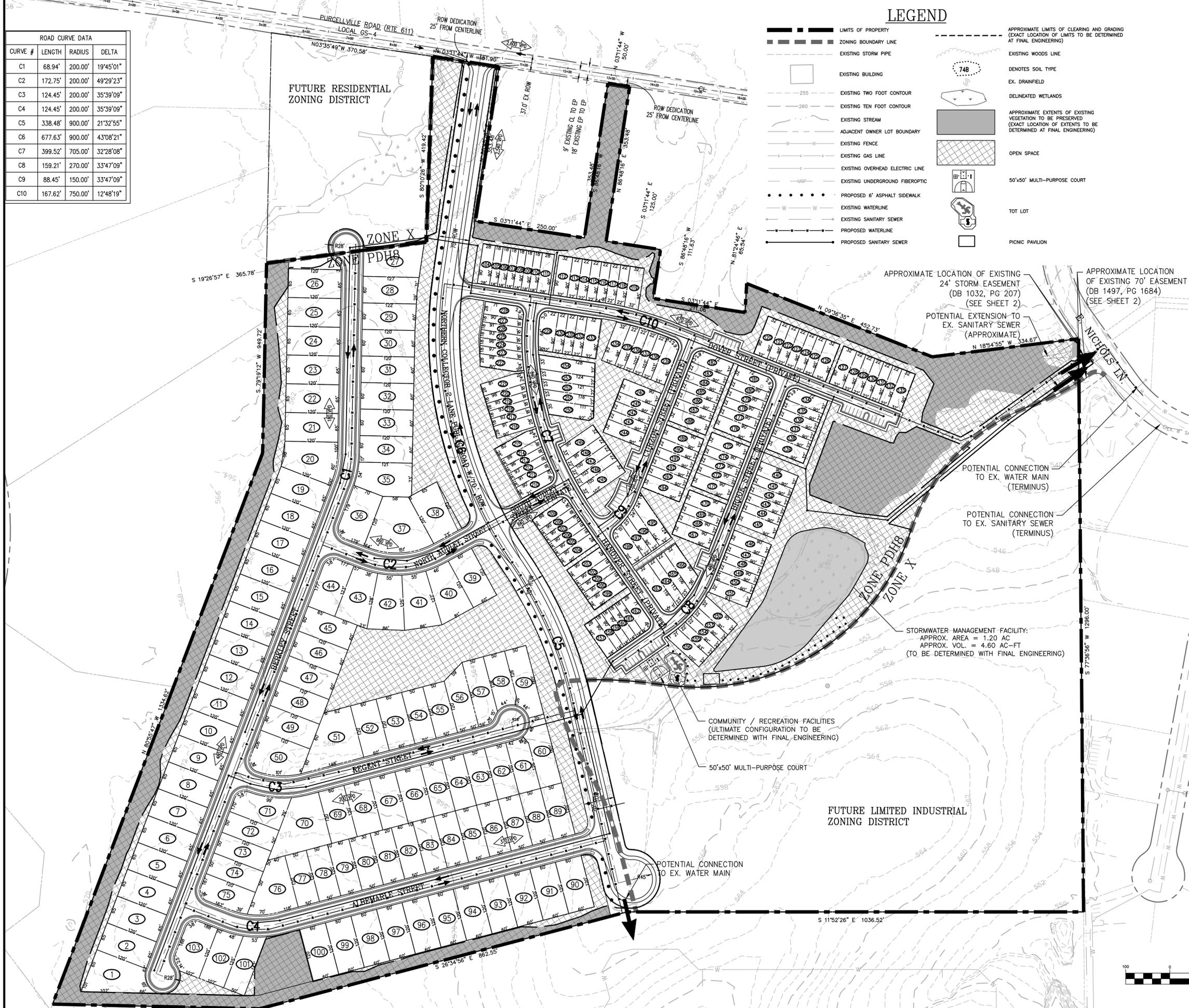
FINAL DEVELOPMENT PLAN  
**MAYFAIR**  
 FINAL DEVELOPMENT PLAN

BLUE RIDGE ELECTION DISTRICT TOWN OF PURCELLVILLE, VIRGINIA

PLAN STATUS		
4/1/14	COUNTY/VDOT COMM.	
DATE	DESCRIPTION	
PH DESIGN	JMM DRAWN	CMM CHKD
SCALE	H: 1"=100'	
JOB No.	5184-01-008	
DATE	JANUARY, 2014	
FILE No.	5184-D-ZP-001	
SHEET	3 OF 9	

P:\134 - Autumn 2013\5184-01-008 (PLAN) - Mayfair Final Development Plan (Planning) Final Development Plan (Sheet 3) - CDP.dwg  
 4/1/14 10:52:28 AM DWG: 5184-01-008

CURVE #	LENGTH	RADIUS	DELTA
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C2	172.75'	200.00'	49°29'23"
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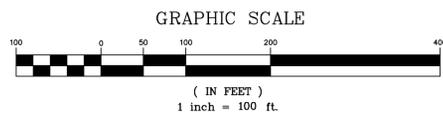


**LEGEND**

- LIMITS OF PROPERTY
- ZONING BOUNDARY LINE
- EXISTING STORM PIPE
- EXISTING BUILDING
- EXISTING TWO FOOT CONTOUR
- EXISTING TEN FOOT CONTOUR
- EXISTING STREAM
- ADJACENT OWNER LOT BOUNDARY
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- 50'x50' MULTI-PURPOSE COURT
- TOT LOT
- PICNIC PAVILION

Lot Tabulations			Lot Tabulations			Lot Tabulations		
Lot	Square Feet	Acres	Lot	Square Feet	Acres	Lot	Square Feet	Acres
1	10305	0.237	101	6637	0.152	201	1620	0.037
2	7800	0.179	102	7286	0.167	202	1620	0.037
3	7800	0.179	103	7971	0.183	203	2520	0.058
4	7800	0.179	104	2520	0.058	204	2520	0.058
5	7800	0.179	105	1620	0.037	205	1620	0.037
6	7800	0.179	106	1620	0.037	206	1620	0.037
7	7800	0.179	107	1620	0.037	207	1620	0.037
8	7800	0.179	108	1620	0.037	208	1620	0.037
9	7800	0.179	109	1620	0.037	209	2535	0.058
10	7800	0.179	110	1620	0.037	210	2433	0.056
11	7800	0.179	111	2520	0.058	211	1632	0.037
12	7800	0.179	112	2880	0.066	212	1661	0.038
13	7800	0.179	113	1980	0.045	213	1699	0.039
14	7800	0.179	114	1980	0.045	214	1744	0.04
15	7800	0.179	115	1980	0.045	215	2780	0.064
16	7800	0.179	116	1980	0.045	216	2528	0.058
17	7800	0.179	117	1986	0.046	217	1642	0.038
18	7800	0.179	118	2005	0.046	218	1665	0.038
19	7800	0.179	119	2980	0.068	219	1696	0.039
20	9638	0.221	120	2880	0.066	220	1735	0.04
21	7800	0.179	121	1980	0.045	221	2755	0.063
22	7800	0.179	122	1980	0.045	222	2722	0.062
23	7800	0.179	123	1980	0.045	223	1749	0.04
24	7800	0.179	124	1980	0.045	224	1732	0.04
25	7800	0.179	125	1980	0.045	225	1700	0.039
26	7800	0.179	126	2880	0.066	226	1658	0.038
27	9133	0.21	127	2880	0.066	227	1629	0.037
28	7429	0.171	128	1980	0.045	228	2458	0.056
29	7262	0.167	129	1980	0.045	229	3343	0.077
30	7200	0.165	130	1980	0.045	230	1980	0.045
31	7200	0.165	131	1980	0.045	231	1980	0.045
32	7200	0.165	132	1980	0.045	232	1980	0.045
33	7200	0.165	133	2880	0.066	233	1980	0.045
34	7204	0.165	134	2807	0.064	234	2880	0.066
35	8918	0.205	135	1980	0.045	235	2173	0.05
36	8271	0.19	136	1980	0.045	236	2218	0.051
37	13763	0.316	137	1980	0.045	237	2249	0.052
38	8735	0.201	138	1980	0.045	238	2265	0.052
39	7200	0.165	139	2880	0.066	239	3329	0.076
40	8351	0.192	140	2880	0.066	240	2880	0.066
41	8753	0.201	141	1980	0.045	241	1980	0.045
42	8771	0.201	142	1980	0.045	242	1980	0.045
43	8321	0.191	143	1980	0.045	243	1980	0.045
44	7841	0.18	144	1980	0.045	244	2880	0.066
45	7200	0.165	145	2880	0.066	245	3390	0.078
46	7200	0.165	146	2880	0.066	246	2287	0.052
47	7200	0.165	147	1980	0.045	247	2233	0.051
48	7200	0.165	148	1980	0.045	248	2163	0.05
49	7200	0.165	149	1980	0.045	249	2988	0.069
50	9734	0.223	150	1980	0.045	250	3366	0.077
51	12630	0.29	151	2918	0.067	251	2498	0.057
52	7203	0.165	152	2967	0.068	252	2606	0.06
53	7204	0.165	153	1987	0.046	253	2695	0.062
54	6005	0.138	154	1986	0.046	254	4043	0.093
55	6007	0.138	155	2022	0.046			
56	6779	0.156	156	3083	0.071			
57	7299	0.168	157	2520	0.058			
58	6040	0.139	158	1620	0.037			
59	7796	0.179	159	1620	0.037			
60	7796	0.179	160	1620	0.037			
61	5977	0.137	161	1620	0.037			
62	6000	0.138	162	2447	0.056			
63	6000	0.138	163	3784	0.087			
64	6000	0.138	164	2557	0.059			
65	6000	0.138	165	2412	0.055			
66	7200	0.165	166	3145	0.072			
67	7200	0.165	167	2880	0.066			
68	7200	0.165	168	1980	0.045			
69	7200	0.165	169	1980	0.045			
70	12909	0.296	170	2880	0.066			
71	7411	0.17	171	2880	0.066			
72	6000	0.138	172	1980	0.045			
73	6000	0.138	173	1980	0.045			
74	6000	0.138	174	1980	0.045			
75	6665	0.153	175	2880	0.066			
76	9614	0.221	176	2880	0.066			
77	6000	0.138	177	1980	0.045			
78	6000	0.138	178	1980	0.045			
79	6000	0.138	179	1980	0.045			
80	6000	0.138	180	1980	0.045			
81	6000	0.138	181	2807	0.064			
82	6000	0.138	182	2807	0.064			
83	6000	0.138	183	1980	0.045			
84	6000	0.138	184	1980	0.045			
85	6000	0.138	185	1980	0.045			
86	6000	0.138	186	1980	0.045			
87	6000	0.138	187	1980	0.045			
88	6000	0.138	188	2880	0.066			
89	6000	0.138	189	2880	0.066			
90	7200	0.165	190	1980	0.045			
91	7200	0.165	191	1980	0.045			
92	7200	0.165	192	1980	0.045			
93	7200	0.165	193	1980	0.045			
94	7200	0.165	194	2880	0.066			
95	7200	0.165	195	3626	0.083			
96	7200	0.165	196	2189	0.05			
97	7200	0.165	197	2034	0.047			
98	7200	0.165	198	2758	0.063			
99	7200	0.165	199	2520	0.058			
100	7200	0.165	200	1620	0.037			
<b>Total</b>			<b>111075</b>	<b>25.460</b>				

OPEN SPACE TABULATIONS		
TOTAL APPLICABLE AREA	51.8	AC.
OPEN SPACE REQUIRED	12.95	AC. 25%
OPEN SPACE PROVIDED	15.65	AC. 30%



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PRELIMINARY SUBDIVISION PLAN  
**MAYFAIR**  
FINAL DEVELOPMENT PLAN  
BLUE RIDGE ELECTION DISTRICT TOWN OF PURCELLVILLE, VIRGINIA

PLAN STATUS	
4/1/14	COUNTY/VDOT COMM.
DATE	DESCRIPTION
PH DESIGN	JMM DRAWN
	CMM CHKD
SCALE	H: 1"=100'
JOB No.	5184-01-008
DATE	JANUARY, 2014
FILE No.	5184-D-ZP-001
SHEET	4 OF 9



NOTE:  
HANDICAPPED RAMPS FOR SIDEWALKS AT INTERSECTIONS WILL BE PROVIDED IN ACCORDANCE WITH VDOT STANDARDS AND SPECIFICATIONS.

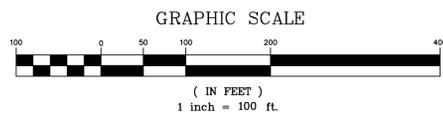
ROAD CURVE DATA			
CURVE #	LENGTH	RADIUS	DELTA
C1	68.94'	200.00'	19°45'01"
C2	172.75'	200.00'	49°29'23"
C3	124.45'	200.00'	35°39'09"
C4	124.45'	200.00'	35°39'09"
C5	338.48'	900.00'	21°32'55"
C6	677.63'	900.00'	43°08'21"
C7	399.52'	705.00'	32°28'08"
C8	159.21'	270.00'	33°47'09"
C9	88.45'	150.00'	33°47'09"
C10	167.62'	750.00'	12°48'19"

APPROXIMATE LOCATION OF EXISTING 24' STORM EASEMENT (DB 1032, PG 207) (SEE SHEET 2)

APPROXIMATE LOCATION OF EXISTING 70' EASEMENT (DB 1497, PG 1684) (SEE SHEET 2)

**LEGEND**

- LIMITS OF APPLICATION
- ZONING BOUNDARY LINE
- EXISTING BUILDING
- - - 255 EXISTING TWO FOOT CONTOUR
- - - 260 EXISTING TEN FOOT CONTOUR
- EXISTING STREAM
- ADJACENT OWNER LOT BOUNDARY
- EXISTING FENCE
- EXISTING GAS LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING UNDERGROUND FIBEROPTIC
- EXISTING STORM PIPE
- EXISTING WOODS LINE
- 748 DENOTES SOIL TYPE
- ↑↓ VEHICULAR TRAFFIC DIRECTION
- ⊙ EX. DRAINFIELD
- ⬭ DELINEATED WETLANDS
- PROPOSED SIDEWALK/TRAIL
- W --- EXISTING WATERLINE
- EXISTING SANITARY SEWER



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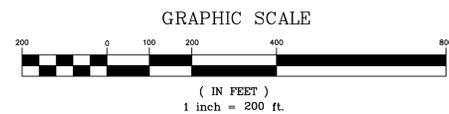
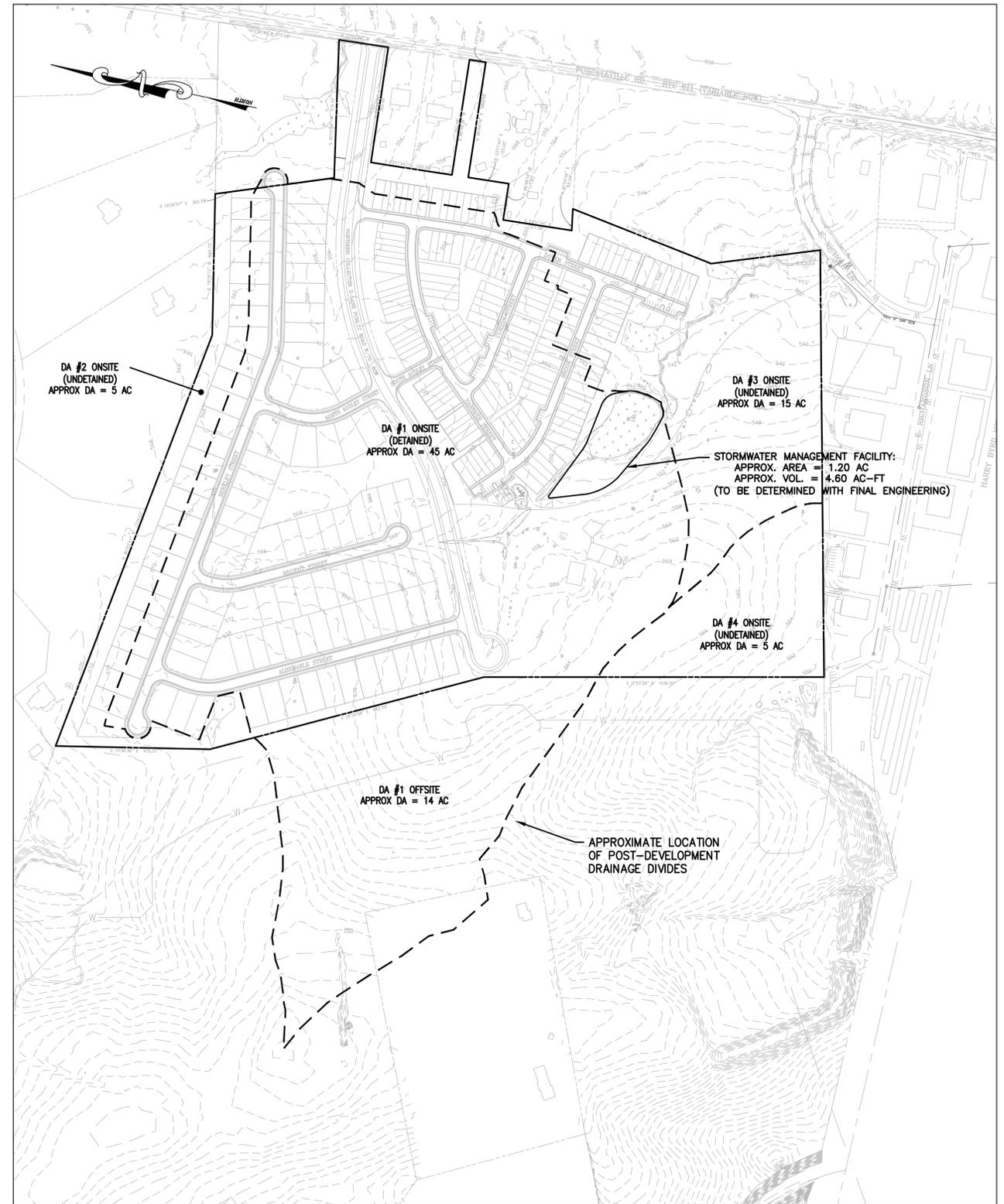
CIRCULATION PLAN  
**MAYFAIR**  
FINAL DEVELOPMENT PLAN  
BLUE RIDGE ELECTION DISTRICT TOWN OF PURCELLVILLE, VIRGINIA

PLAN STATUS	
4/1/14	COUNTY/VDOT COMM.

DATE	DESCRIPTION
RH DESIGN	JMM DRAWN
	CMM CHKD
SCALE: H: 1"=100'	
JOB No.	5184-01-008
DATE	JANUARY, 2014
FILE No.	5184-D-ZP-001
SHEET	5 OF 9

P:\134 - Autumn 2013\5184-01-008 (PLAN) - Mayfair Final Development Plan\Planning\Final Development Plan\Sheet\5-CIP.dwg, 4/1/2014 10:41:11 AM, 100% (1:100)

OVERALL DRAINAGE DIVIDES MAP



OVERALL DRAINAGE DIVIDES

MAYFAIR

FINAL DEVELOPMENT PLAN

BLUE RIDGE ELECTION DISTRICT TOWN OF PURCELLVILLE, VIRGINIA

PLAN STATUS  
4/1/14 COUNTY/VDOT COMM.

DATE	DESCRIPTION
RH DESIGN	JMM DRAWN
	CMM CHKD

SCALE H: V: 1"=200'

JOB No. 5184-01-008

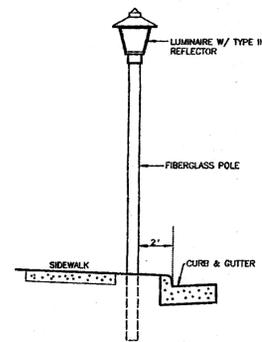
DATE JANUARY, 2014

FILE No. 5184-D-ZP-001

SHEET 6 OF 9

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CONSULTING



LUMINAIRE (MIN.)	MOUNTING HEIGHT (FEET)
5000 LUMENS	14

### STREET LIGHT DETAIL

(NOT TO SCALE)

- NOTES:
- 1) THE HOA WILL BE RESPONSIBLE FOR MAINTAINING STREET LIGHTS
  - 2) LIGHTING SHALL BE PROVIDED IN ACCORDANCE WITH THE PURCELLVILLE ZONING ORDINANCE, ARTICLE 6, SECTION 9.
  - 3) ALL LIGHTING FIXTURES SHALL BE CUTOFF AND FULLY SHIELDED.

### STOP SIGN DETAIL



### HOUSING TYPICALS

#### SFD Unit Typical

The following table specifies the minimum standards for the SFD Unit type.

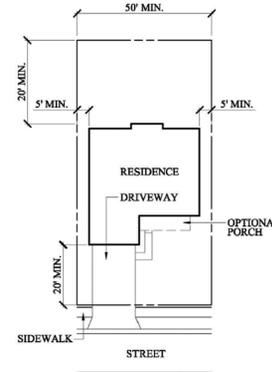
Minimum lot area	5000 sq. ft.
Minimum Lot Width:	50 ft.
Minimum Lot Depth:	100 ft.
Maximum building height	45 ft. (Max height at the peak of the roof)
Minimum setbacks:	
Front setback to house	20 ft.
Side	5 ft.
Both Side(s)	10 ft.
Corner lot (side)	10 ft.
Rear lot line to house	20 ft.
Rear lot line to garage (for detached garage)	5 ft.

Minimum setbacks for unroofed landings, porches, decks, steps, stoops, patios, chimneys, retaining walls four (4) feet or higher, as determined by the Building Code, and driveways constructed, all of which are greater than eight (8) inches above existing grade in any combination shall be:

Front	15 ft.
Side	5 ft.
Corner lot (side)	10 ft.
Rear	8 ft.

Note: Rear yard privacy fencing and decking is intended to be placed in the rear yard area, and may not be forward of the rear plane of the house.

Minimum building setbacks exclude architectural features such as, but not limited to, windows, sills, cornices, eaves, gutters, masonry veneer, and bay windows, but excluding floor area supported by cantilevered construction. No setback shall apply to unroofed patios, walkways, sidewalks, areaways, and driveways constructed eight (8) inches or less above existing grade within five (5) feet of said feature of the contour of the land.



### HOUSING TYPICALS

#### Townhouse Unit Typical

The following table specifies the minimum standards for the Townhouse Unit type.

Minimum lot area	1200 sq. ft.
Minimum Lot Width:	16 ft.
Minimum lot width shall be 26 ft. for end and corner lots	
Minimum Lot Depth:	80 ft.
Maximum building height	45 ft. (Max height at the peak of the roof)
Maximum Lot Coverage	60%
Minimum setbacks:	
Front setback to house	10 ft.
Side (end unit)	10 ft.
Rear lot line to house	18 ft.
Rear lot line to garage (for detached garage)	5 ft.

Every dwelling unit shall have a minimum gross floor area of 1000 square feet with a minimum of 500 square feet per floor, exclusive of attic and exclusive of basements which are more than 50 percent underground. Building setback variations shall be at least 18 inches.

The 20 foot open space between TH buildings includes on lot green space.

No more than 80 lots shall abut a parking lot or access court. Two access connections shall serve no more than 160 lots. All private streets shall be at least 24 feet in pavement width, exclusive of parking.

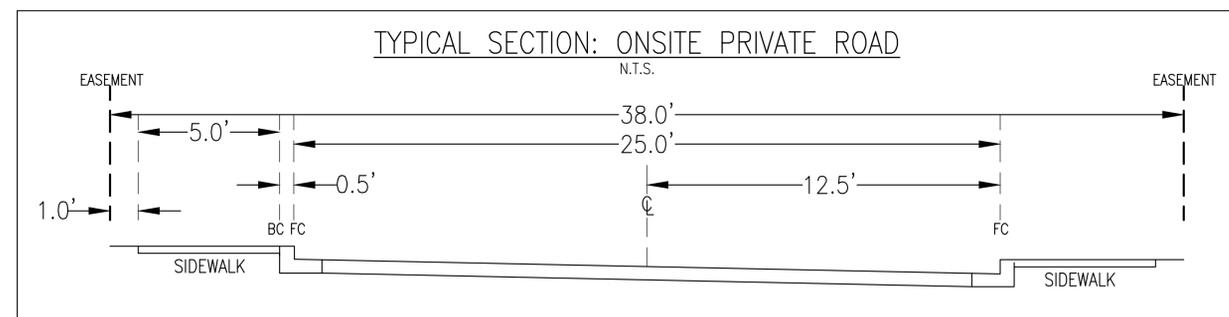
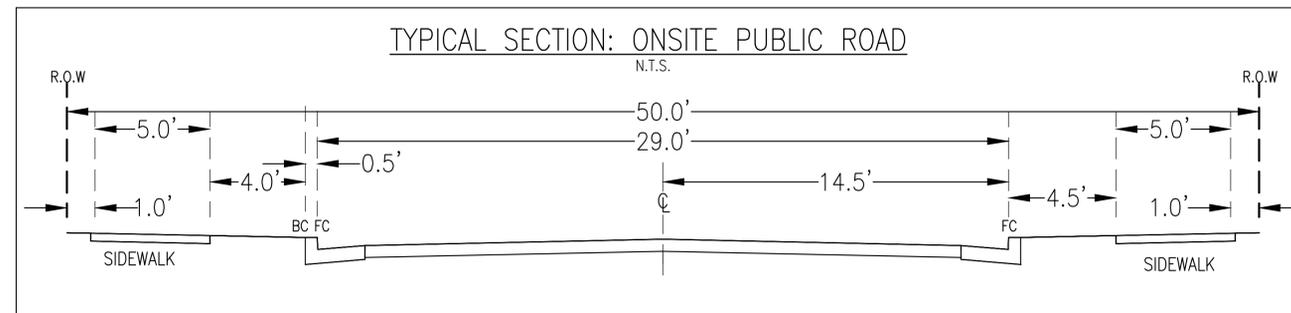
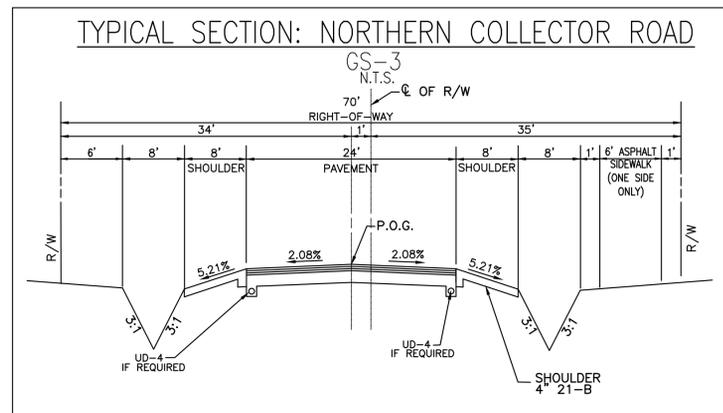
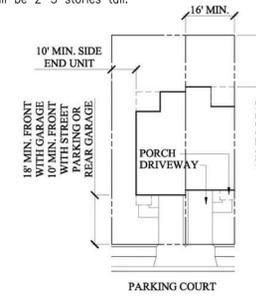
Minimum setbacks for unroofed landings, porches, decks, steps, stoops, patios, chimneys, retaining walls four (4) feet or higher, as determined by the Building Code, and driveways constructed, all of which are greater than eight (8) inches above existing grade in any combination shall be:

Front	5 ft.
Side (end unit)	5 ft.
Rear	8 ft.

Note: Rear yard privacy fencing and decking is intended to be placed in the rear yard area, and may not be forward of the rear plane of the house.

Minimum building setbacks exclude architectural features such as, but not limited to, windows, sills, cornices, eaves, gutters, masonry veneer, and bay windows, but excluding floor area supported by cantilevered construction. No setback shall apply to unroofed patios, walkways, sidewalks, areaways, and driveways constructed eight (8) inches or less above existing grade within five (5) feet of said feature of the contour of the land.

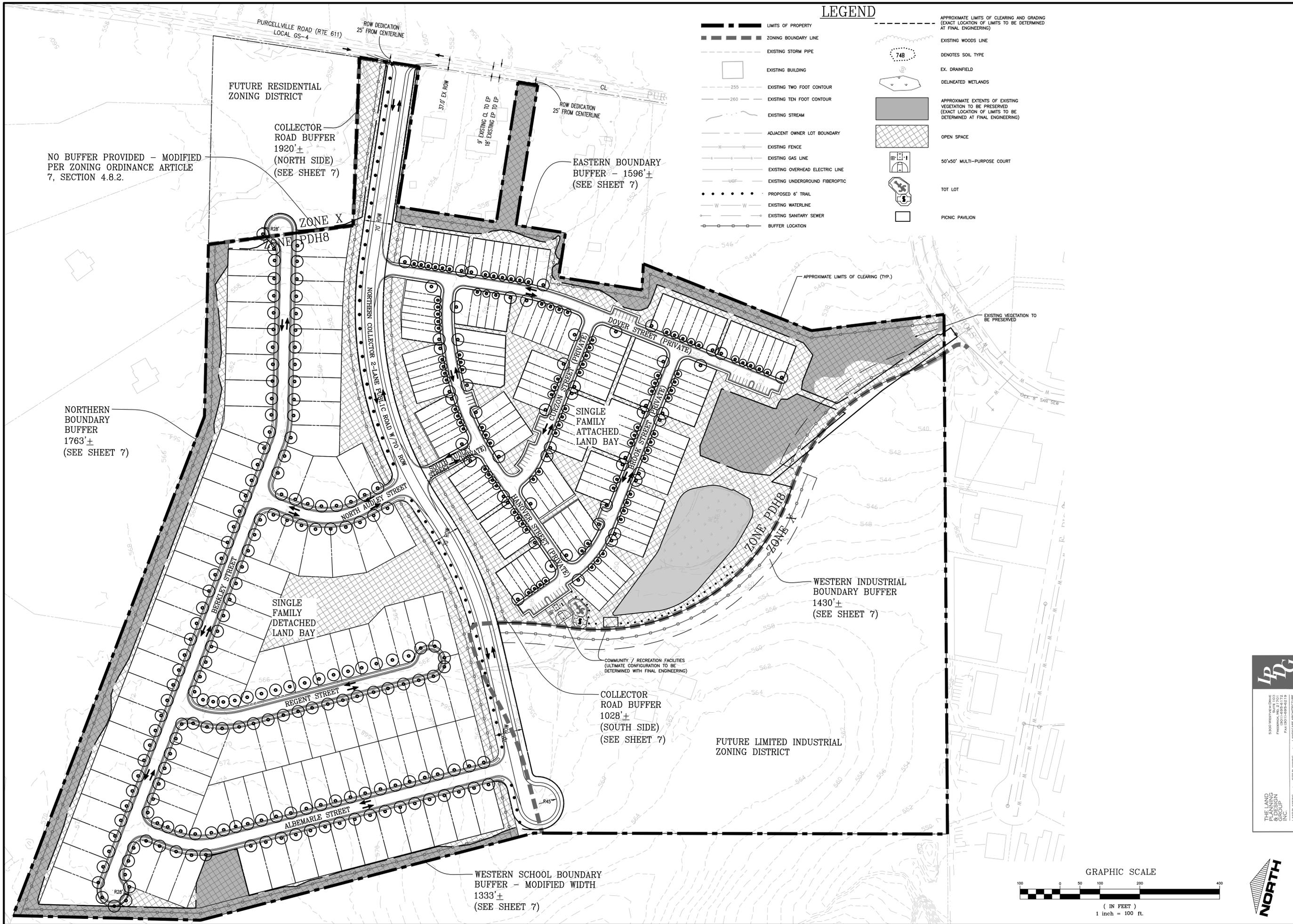
Note: Townhouse units shall be 2-3 stories tall.



NOTES:

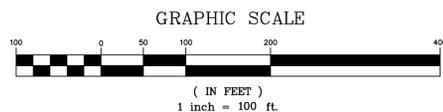
1. SECTION ABOVE SHALL HAVE A MINIMUM CENTERLINE RADIUS OF 60'
2. SECTION ABOVE SHALL HAVE A MINIMUM INTERSECTION SPACING OF 100'

PLAN STATUS	
4/1/14	COUNTY/VDOT COMM.
DATE	DESCRIPTION
PH DESIGN	JMM DRAWN
	CMM CHKD
SCALE	H/V
JOB No.	5184-01-008
DATE	JANUARY, 2014
FILE No.	5184-D-ZP-001
SHEET	7 OF 9



**LEGEND**

- LIMITS OF PROPERTY
  - ZONING BOUNDARY LINE
  - EXISTING STORM PIPE
  - EXISTING BUILDING
  - - - 255 EXISTING TWO FOOT CONTOUR
  - - - 260 EXISTING TEN FOOT CONTOUR
  - EXISTING STREAM
  - ADJACENT OWNER LOT BOUNDARY
  - EXISTING FENCE
  - EXISTING GAS LINE
  - EXISTING OVERHEAD ELECTRIC LINE
  - EXISTING UNDERGROUND FIBEROPTIC
  - PROPOSED 6" TRAIL
  - EXISTING WATERLINE
  - EXISTING SANITARY SEWER
  - BUFFER LOCATION
- APPROXIMATE LIMITS OF CLEARING AND GRADING (EXACT LOCATION OF LIMITS TO BE DETERMINED AT FINAL ENGINEERING)
  - EXISTING WOODS LINE
  - DENOTES SOIL TYPE
  - EX. DRAINFIELD
  - DELINEATED WETLANDS
  - APPROXIMATE EXTENTS OF EXISTING VEGETATION TO BE PRESERVED (EXACT LOCATION OF LIMITS TO BE DETERMINED AT FINAL ENGINEERING)
  - OPEN SPACE
  - 50'x50' MULTI-PURPOSE COURT
  - TOT LOT
  - PICNIC PAVILION

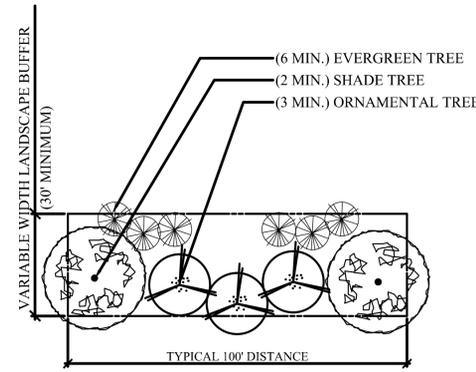


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OPEN SPACE AND LANDSCAPE PLAN  
**MAYFAIR**  
FINAL DEVELOPMENT PLAN  
BLUE RIDGE ELECTION DISTRICT TOWN OF PURCELLVILLE, VIRGINIA

PLAN STATUS	
4/1/14	COUNTY/VDOT COMM.
DATE	DESCRIPTION
PH DESIGN	JMM DRAWN
	CMM CHKD
SCALE	1" = 100'
JOB No.	5184-01-008
DATE	JANUARY, 2014
FILE No.	5184-D-ZP-001
SHEET	8 OF 9

4/1/14 - Autumn 10/15/14 - 001 (Rev. 1) - Mayfair Final Development Plan (Planning) Final Development Plan (Sheet 8) - LSP.dwg  
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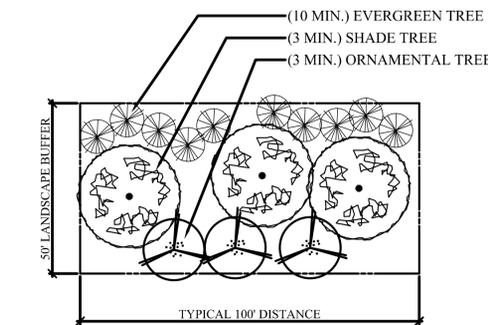


**COLLECTOR ROAD BUFFER**

SCALE: 1" = 30'

NOTE: EXISTING TREE SAVE MAY BE SUBSTITUTED IN LIEU OF BUFFER PLANTINGS WHEN THE TREE SAVE MEETS THE INTENT OF THE BUFFER PLANTINGS. EXACT PLANTING LOCATIONS MAY BE ADJUSTED AT TIME OF FINAL ENGINEERING. TOTAL PLANT QUANTITY REQUIREMENT BASED UPON OVERALL TOTAL BUFFER DISTANCE. EVERGREEN TREES AND ORNAMENTAL TREES ARE INTERCHANGEABLE IN MEETING THE TOTAL TREE QUANTITY REQUIREMENT OF NON-SHADE TREES PER 100 FT, PROVIDED THAT THERE WILL BE A MINIMUM OF SIX (6) EVERGREENS PER 100 FT.

MIN. SPECIFICATIONS FOR PLANT MATERIAL WILL FOLLOW ZONING ORDINANCE ARTICLE 7, SECTION 6.3

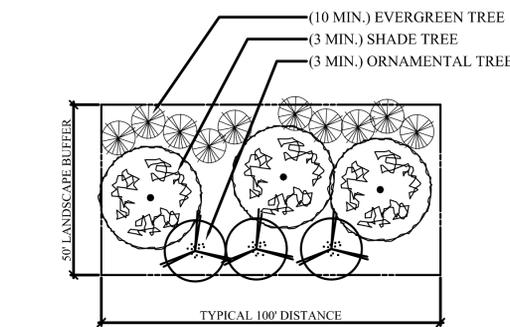


**NORTHERN BOUNDARY BUFFER**

SCALE: 1" = 30'

NOTE: EXISTING TREE SAVE MAY BE SUBSTITUTED IN LIEU OF BUFFER PLANTINGS WHEN THE TREE SAVE MEETS THE INTENT OF THE BUFFER PLANTINGS. EXACT PLANTING LOCATIONS MAY BE ADJUSTED AT TIME OF FINAL ENGINEERING. TOTAL PLANT QUANTITY REQUIREMENT BASED UPON OVERALL TOTAL BUFFER DISTANCE. EVERGREEN TREES AND ORNAMENTAL TREES ARE INTERCHANGEABLE IN MEETING THE TOTAL TREE QUANTITY REQUIREMENT OF NON-SHADE TREES PER 100 FT, PROVIDED THAT THERE WILL BE A MINIMUM OF SIX (6) EVERGREENS PER 100 FT.

MIN. SPECIFICATIONS FOR PLANT MATERIAL WILL FOLLOW ZONING ORDINANCE ARTICLE 7, SECTION 6.3

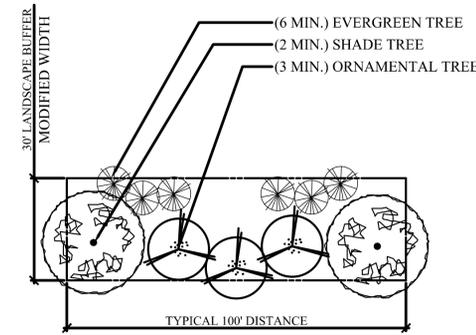


**WESTERN INDUSTRIAL BOUNDARY BUFFER**

SCALE: 1" = 30'

NOTE: EXISTING TREE SAVE MAY BE SUBSTITUTED IN LIEU OF BUFFER PLANTINGS WHEN THE TREE SAVE MEETS THE INTENT OF THE BUFFER PLANTINGS. EXACT PLANTING LOCATIONS MAY BE ADJUSTED AT TIME OF FINAL ENGINEERING. TOTAL PLANT QUANTITY REQUIREMENT BASED UPON OVERALL TOTAL BUFFER DISTANCE. EVERGREEN TREES AND ORNAMENTAL TREES ARE INTERCHANGEABLE IN MEETING THE TOTAL TREE QUANTITY REQUIREMENT OF NON-SHADE TREES PER 100 FT, PROVIDED THAT THERE WILL BE A MINIMUM OF SIX (6) EVERGREENS PER 100 FT.

MIN. SPECIFICATIONS FOR PLANT MATERIAL WILL FOLLOW ZONING ORDINANCE ARTICLE 7, SECTION 6.3

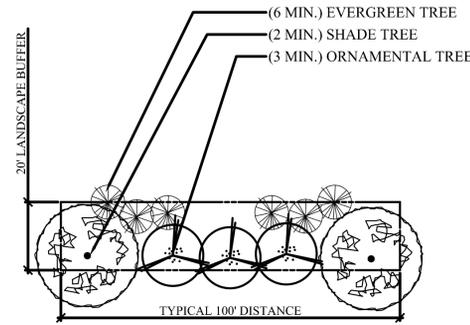


**WESTERN SCHOOL BOUNDARY BUFFER**

SCALE: 1" = 30'

NOTE: EXISTING TREE SAVE MAY BE SUBSTITUTED IN LIEU OF BUFFER PLANTINGS WHEN THE TREE SAVE MEETS THE INTENT OF THE BUFFER PLANTINGS. EXACT PLANTING LOCATIONS MAY BE ADJUSTED AT TIME OF FINAL ENGINEERING. TOTAL PLANT QUANTITY REQUIREMENT BASED UPON OVERALL TOTAL BUFFER DISTANCE. EVERGREEN TREES AND ORNAMENTAL TREES ARE INTERCHANGEABLE IN MEETING THE TOTAL TREE QUANTITY REQUIREMENT OF NON-SHADE TREES PER 100 FT, PROVIDED THAT THERE WILL BE A MINIMUM OF SIX (6) EVERGREENS PER 100 FT.

MIN. SPECIFICATIONS FOR PLANT MATERIAL WILL FOLLOW ZONING ORDINANCE ARTICLE 7, SECTION 6.3



**EASTERN BOUNDARY BUFFER**

SCALE: 1" = 30'

NOTE: EXISTING TREE SAVE MAY BE SUBSTITUTED IN LIEU OF BUFFER PLANTINGS WHEN THE TREE SAVE MEETS THE INTENT OF THE BUFFER PLANTINGS. EXACT PLANTING LOCATIONS MAY BE ADJUSTED AT TIME OF FINAL ENGINEERING. TOTAL PLANT QUANTITY REQUIREMENT BASED UPON OVERALL TOTAL BUFFER DISTANCE. EVERGREEN TREES AND ORNAMENTAL TREES ARE INTERCHANGEABLE IN MEETING THE TOTAL TREE QUANTITY REQUIREMENT OF NON-SHADE TREES PER 100 FT, PROVIDED THAT THERE WILL BE A MINIMUM OF SIX (6) EVERGREENS PER 100 FT.

BUFFER MAY INCREASE BUT WILL MAINTAIN A MINIMUM WIDTH OF 20'.

MIN. SPECIFICATIONS FOR PLANT MATERIAL WILL FOLLOW ZONING ORDINANCE ARTICLE 7, SECTION 6.3

**NOTES**

- EXISTING TREES WILL BE PRESERVED WHERE POSSIBLE BASED UPON FINAL ENGINEERING.
- ALL BUFFERS SHOWN WILL PRESERVE EXISTING TREES WHERE POSSIBLE BASED ON FINAL ENGINEERING.
- AS THE PROPERTY OWNER ON BOTH SIDES OF THE ZONING DISTRICT BOUNDARY, BROOKFIELD AGREES TO INSTALL A COMBINED LANDSCAPE BUFFER TOTALING 50 FEET, TO BE LOCATED ALONG THE WESTERN BOUNDARY ADJOINING THE SITE WHERE LIMITED INDUSTRIAL ZONING WILL BE REQUESTED IF THE PROPERTY IS ANNEXED. THIS 50 FOOT BUFFER MAY BE LOCATED EITHER ENTIRELY OR PARTIALLY ON EITHER SIDE OF THE ZONING BOUNDARY AS DETERMINED AT FINAL ENGINEERING. THIS BUFFER WILL PRESERVE EXISTING TREES WHERE POSSIBLE AND MAY INCORPORATE EARTHEN BERMS WITHIN THE 50 FOOT BUFFER BASED UPON FINAL ENGINEERING.
- FINAL OPEN SPACE PROVIDED MAY VARY BASED UPON FINAL ENGINEERING BUT WILL ALWAYS PROVIDE THE MINIMUM REQUIRED.
- MODIFICATIONS TO REQUIRED BUFFERS, WHERE NOTED OR OTHERWISE DESCRIBED HEREIN, ARE APPROVED BY THE ZONING ADMINISTRATOR, PURSUANT TO SECTION 4.8 OF THE TOWN OF PURCELLVILLE ZONING ORDINANCE, AND BY LETTER DATED DECEMBER 6, 2013.
- ALL STREET TREES DISPLAYED, INCLUDING THOSE LOCATED ON PRIVATE RESIDENTIAL LOTS OR COMMON AREA, ARE REQUIRED BY THE LANDSCAPE REGULATIONS OF THE TOWN OF PURCELLVILLE ZONING ORDINANCE. THESE TREES MUST BE MAINTAINED BY THE PROPERTY OWNER IN PERPETUITY, AND IN THE EVENT THAT A REQUIRED STREET TREE DIES, A REPLACEMENT TREE MUST BE PLANTED WITHIN 6 MONTHS.

**LANDSCAPE CALCULATIONS**

**LANDSCAPE REQUIRED ON PUBLIC STREETS:**

1 TREE / 40 LF OF STREET  
10400 LF / 40 = 260 TREES REQUIRED

LANDSCAPE PROVIDED ON PUBLIC STREETS:  
260 TREES PROVIDED

**LANDSCAPE REQUIRED FOR (SFA) SINGLE FAMILY ATTACHED (PER 7C OF THE ACCEPTED PROFFERS DATED DECEMBER 6, 2013):**

1 LARGE DECIDUOUS TREE / END UNIT  
1 SMALL DECIDUOUS TREE / INTERIOR UNIT  
52 END UNIT TREES REQUIRED  
99 INTERIOR UNIT TREES REQUIRED

LANDSCAPE PROVIDED FOR SFA:  
52 END UNIT TREES  
99 INTERIOR UNIT TREES

NOTES: ALL SFA TREES MAY BE PLACED IN FRONT OR REAR YARDS, AS SPACE PERMITS. IF SPACE DOES NOT PERMIT, TREE REQUIREMENTS FOR SFA MAY BE LOCATED IN COMMON GREEN AREAS.

PLAN STATUS	
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DATE	DESCRIPTION
PH DESIGN	JMM DRAWN
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SCALE	H: V:
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