

MAYFAIR FINAL DEVELOPMENT PLAN

GENERAL NOTES:

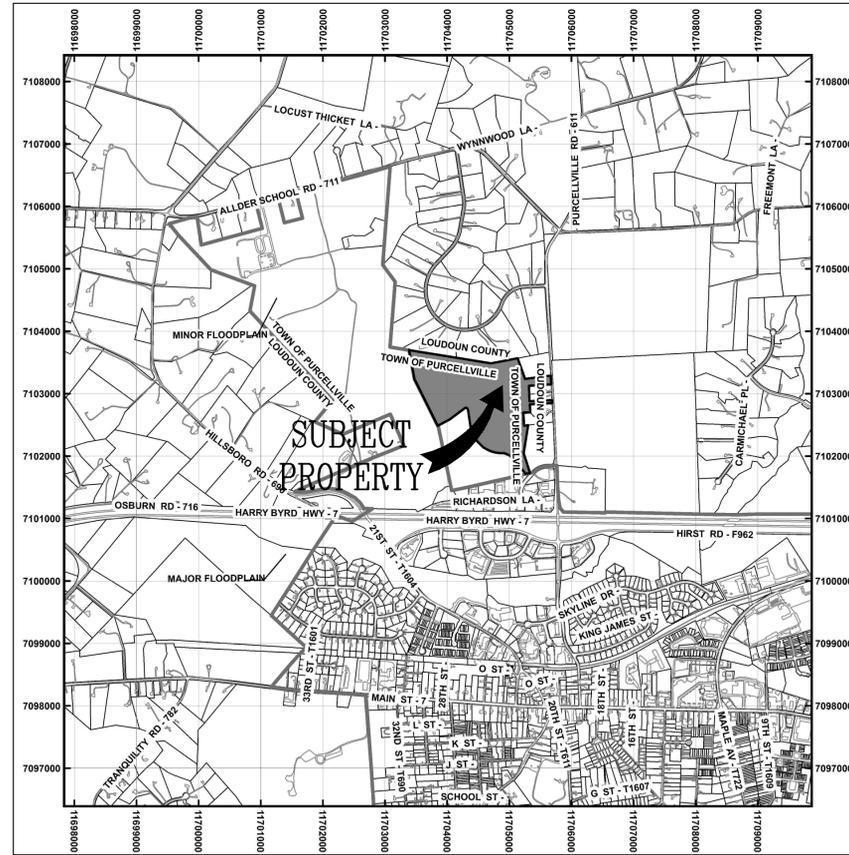
- THIS FINAL DEVELOPMENT PLAN IS INTENDED TO IMPLEMENT THE MAYFAIR CONCEPT DEVELOPMENT PLAN DATED DECEMBER 6, 2013, AND PROFFER STATEMENT AMENDMENT DATED DECEMBER 6, 2013, WHICH AMENDED AND REPLACED THE CONCEPT DEVELOPMENT PLAN PREPARED BY GREENHORNE & O'MARA DATED SEPTEMBER, 1990 AND THE PRELIMINARY SITE ILLUSTRATIVE PLAN PREPARED BY MICHAEL L. OXMAN & ASSOCIATES, ARCHITECTS, DATED SEPTEMBER 4, 1990 AND REVISED THROUGH 28 MAY, 1991.
- THE SUBJECT PROPERTY IS A 51.8 ACRE PORTION OF THE PARCEL IDENTIFIED IN LOUDOUN COUNTY ASSESSMENT RECORDS AS MCP#487-36-5498 (LCTM/35/111111/14/) AND IS CURRENTLY ZONED PDH8, AS ADMINISTERED BY THE TOWN OF PURCELLVILLE ZONING ORDINANCE.
- BOUNDARY INFORMATION SHOWN FOR THE SITE WAS OBTAINED FROM A BOUNDARY SURVEY PERFORMED BY BOWMAN CONSULTING GROUP, DATED 04/30/2009. THE TOTAL AREA OF THE SUBJECT PROPERTY IS 51.8 ACRES.
- THIS FINAL DEVELOPMENT PLAN ILLUSTRATES THE PLANNED DEVELOPMENT OF 254 DWELLING UNITS CONSISTING OF A MIX OF SINGLE FAMILY DETACHED AND SINGLE FAMILY ATTACHED DWELLING UNITS.
- THE PROPOSED DEVELOPMENT WILL BE PROVIDED WITH TOWN OF PURCELLVILLE WATER AND SEWER SERVICE THROUGH THE EXTENSION OF EXISTING LINES, SUBJECT TO THE WATER AND SEWER AGREEMENT BETWEEN BROOKFIELD AUTUMN HILL, L.L.C. AND THE TOWN OF PURCELLVILLE, VIRGINIA.
- TOPOGRAPHIC INFORMATION SHOWN HEREON WAS PROVIDED BY MCKENZIE SNYDER FROM AERIAL PHOTOGRAPHY DATED FEBRUARY 21, 2009. CONTOUR INTERVAL IS 2 FEET. VERTICAL DATUM BASED ON NGVD 1988. HORIZONTAL DATUM BASED ON NAD 83.
- SOILS INFORMATION SHOWN IS FROM LOUDOUN COUNTY GIS DATA.
- THERE IS NO MAJOR OR MINOR FLOODPLAIN LOCATED ON THE SITE PER LOUDOUN COUNTY GIS DATA.
- THE SITE IS SUBJECT TO NO KNOWN FEDERAL OR STATE PERMITS THAT WILL LIMIT ITS DEVELOPMENT.
- ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL STANDARDS AND SPECIFICATIONS.
- ALL REQUIRED STORMWATER MANAGEMENT WILL BE PROVIDED AT FINAL SITE DESIGN AND WILL COMPLY WITH ALL APPLICABLE STATE AND LOCAL STANDARDS AND REGULATIONS.
- ALL SIGNAGE WILL COMPLY WITH APPLICABLE REQUIREMENTS OF THE ZONING ORDINANCE.
- ALL SITE LIGHTING WILL COMPLY WITH THE LIGHT AND GLARE STANDARDS OF THE ZONING ORDINANCE.
- LANDSCAPING AND BUFFERING SHALL MEET THE APPLICABLE REQUIREMENTS OF THE ZONING ORDINANCE SUBJECT TO MODIFICATIONS AS GRANTED BY THE ZONING ADMINISTRATOR.
- A PHASE I CULTURAL RESOURCES SURVEY WAS PREPARED BY DUTTON & ASSOCIATES DATED NOVEMBER, 2012.
- A JURISDICTIONAL DETERMINATION (2009-1093) WAS OBTAINED FROM THE U.S. ARMY CORPS OF ENGINEERS ON 06/15/2009. DELINEATED WETLANDS ARE SHOWN ON THE EXISTING CONDITIONS SHEET (SHEET 2). VPDOS PERMITS SHALL BE PROVIDED TO LOUDOUN COUNTY PRIOR TO DISTURBANCE (PER FSM 5.310.E).
- THERE ARE NO KNOWN EXISTING FUEL STORAGE OR HAZARDOUS MATERIALS LOCATED WITHIN THE LIMITS OF THE APPLICATION.
- THE PROPOSED USE SHALL CONFORM TO THE NOISE STANDARDS OF THE ZONING ORDINANCE.
- THERE ARE NO KNOWN GRAVES OR BURIAL SITES THAT WILL BE IMPACTED BY THE PROPOSED DEVELOPMENT.
- STORMWATER MANAGEMENT AND BEST MANAGEMENT PRACTICES FOR THIS SITE WILL BE PROVIDED BY EITHER A WET POND OR ENHANCED EXTENDED DETENTION FACILITY IN ACCORDANCE WITH THE VIRGINIA STORMWATER MANAGEMENT HANDBOOK. EXACT TYPE OF FACILITY WILL BE DETERMINED DURING FINAL ENGINEERING.
- DWELLING UNIT HEIGHT SHALL BE IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF THE TOWN OF PURCELLVILLE AT THE DATE OF APPROVAL OF THIS PLAN.
- DURING REVIEW OF THE FDP, IT WAS DETERMINED THAT THE INTERSECTIONS FORMED BY CDP PUBLIC ROAD "E" DID NOT MEET VDOT "CORNER CLEARANCE" CRITERION RELATIVE TO THE NORTHERN COLLECTOR ROAD. DUE TO GEOMETRIC CONSTRAINTS, RESOLUTION OF THIS ISSUE REQUIRED REMOVAL OF CDP PUBLIC ROAD "E" FROM THE FDP, WHICH FURTHER NECESSITATED RECONFIGURATION OF THE SFD LOT LAYOUT, TO INCLUDE CONVERSION OF CDP PUBLIC ROAD "C" INTO A CUL-DE-SAC. WITH THESE CHANGES, THE PUBLIC STREET LAYOUT DEPICTED ON THE FDP MEETS APPLICABLE VDOT STANDARDS.

VDOT GENERAL NOTES

Revised 3/28/13

- These plans were prepared in accordance with the requirements of (select one):
 - VDOT Subdivision Street Requirements (SSR 24VAC-30-81 effective January 1, 2005 and VDOT Road Design Manual Appendix B)
 - VDOT Secondary Street Acceptance Requirements (SSAR 24VAC-30-92 effective March 9, 2009 and VDOT Road Design Manual Appendix B1). Schematic street layout and computations of Connectivity Index are provided with these plans per 24VAC30-92-60.
 - VDOT Secondary Street Acceptance Requirements (SSAR 24VAC-30-92 effective December 31, 2011 and VDOT Road Design Manual Appendix B1). Schematic street layout with phasing diagram for street acceptance are provided with these plans per 24VAC30-92-60.
- Methods and materials used shall conform to current county/town and VDOT standards and specifications.
- All utilities, including all poles, are to be relocated at the developer's expense, prior to construction.
- Open cutting of paved or surface treated roads is not permitted. All utilities which will be placed under existing streets are to be bored or jacked. Any exceptions, due to extenuating circumstances, are to be addressed at the permit stage.
- Any type of reverse curb (spill curb, CG-6R, etc.) and transition to these curbs shall not be used with the public right of way.
- The developer is responsible for any damage to existing roads and utilities which occur as a result of project construction within or contiguous to existing right of way.
- A smooth grade shall be maintained from the centerline of the existing road to the proposed edge of pavement to preclude the forming of false gutters and/or the ponding of any water in the roadway.
- Standard guardrails and/or handrails shall be installed at hazardous locations as designated during field review by the county/town inspector or VDOT.
- The developer is responsible for all traffic control. The developer shall submit a signing, striping and/or signalization plan to the VDOT Land Development Section a minimum of thirty days prior to permit application. The developer shall not commence construction of any pavement course without an approved striping plan.
- Pavement design is based on an assumed CBR value of 10 (use CBR value of 6 in Loudoun Co). Soil tests of subgrade must be submitted for actual determination of required thickness of the pavement including layers of asphalt and subbase prior to subbase placement.
- All untreated aggregate used in base or subbase courses shall be 21B, except on roads with ADT of 1000 vpd or less, where 21A aggregate may be used. When 21B aggregate is used, UD-4 underdrains must be provided.
- A 4" (min.) layer of stone is required beneath curb and gutter (may be shown on typical section in lieu of a note).
- Additional ditch linings or siltation and erosion control measures shall be provided, at the developer's expense, as determined necessary by VDOT and/or the county/town during field review. All costs shall be assumed by the developer.
- The entire surface of the roadway (old and new portions) shall be overlaid and re-striped as required by VDOT personnel. Overlay of existing pavement shall be minimum of 1.25" depth; any costs associated with pavement overlay, or the milling of existing pavement to obtain required depth, shall be assumed by the developer.
- Developer is responsible for design and construction of any traffic signal installation or modification which will be necessary as a result of development of this site.
- All right of way dedicated to public use shall be clear and unencumbered.
- The county/town shall obtain a permit for all sidewalks within the right of way that do not qualify for VDOT maintenance.
- Traffic control devices or advisory signs, such as multway stops, speed limits, Watch for Children, Pedestrian Traffic etc., shall not be installed unless specifically shown on these plans or a VDOT approved plan revision. Speed study certified by professional engineer should be submitted for VDOT approval prior to the street acceptance for any road to be posted other than the statutory speed limit. Should unapproved signs be noted at the time of VDOT inspection, the road acceptance process shall be terminated immediately and not recommenced until a determination is made regarding the approval of any additional signs. Immediate removal of such signs shall not negate the need for the submission of a revision.
- Landscaping and irrigation systems shall not be installed within the public right of way except as shown on these plans or a VDOT approved revision.
- Beginning July 1, 2009 all Land Use Permit applications are required to provide at least one (1) person who, at minimum, is verified by VDOT in Basic Work Zone Traffic Control for all permitted activities within state maintained right of way which involves installing, maintaining, or removing work zone traffic control devices. This person shall be responsible for the placement, maintenance and removal of all work zone traffic control devices.

TOWN OF PURCELLVILLE, VIRGINIA



VICINITY MAP

1" = 1000'



OWNER/APPLICANT

BROOKFIELD AUTUMN HILL LLC
8500 EXECUTIVE PARK AVE. SUITE 300
FAIRFAX, VA 22031-2228
(703) 270-1400

SIGNATURE

DATE

SHEET INDEX

- COVER SHEET
- EXISTING CONDITIONS
- FINAL DEVELOPMENT PLAN
- PRELIMINARY SUBDIVISION PLAN
- CIRCULATION PLAN
- OVERALL DRAINAGE DIVIDES
- TYPICAL DETAILS
- OPEN SPACE AND LANDSCAPE PLAN
- LANDSCAPE CALCULATIONS AND SITE DATA

Bowman
CONSULTING

Bowman Consulting Group, Ltd.
101 South Street, S. E.
Leeburg, Virginia 20175
Phone: (703) 443-2400
Fax: (703) 443-2425
www.bowmanconsulting.com
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COVER SHEET

MAYFAIR

FINAL DEVELOPMENT PLAN

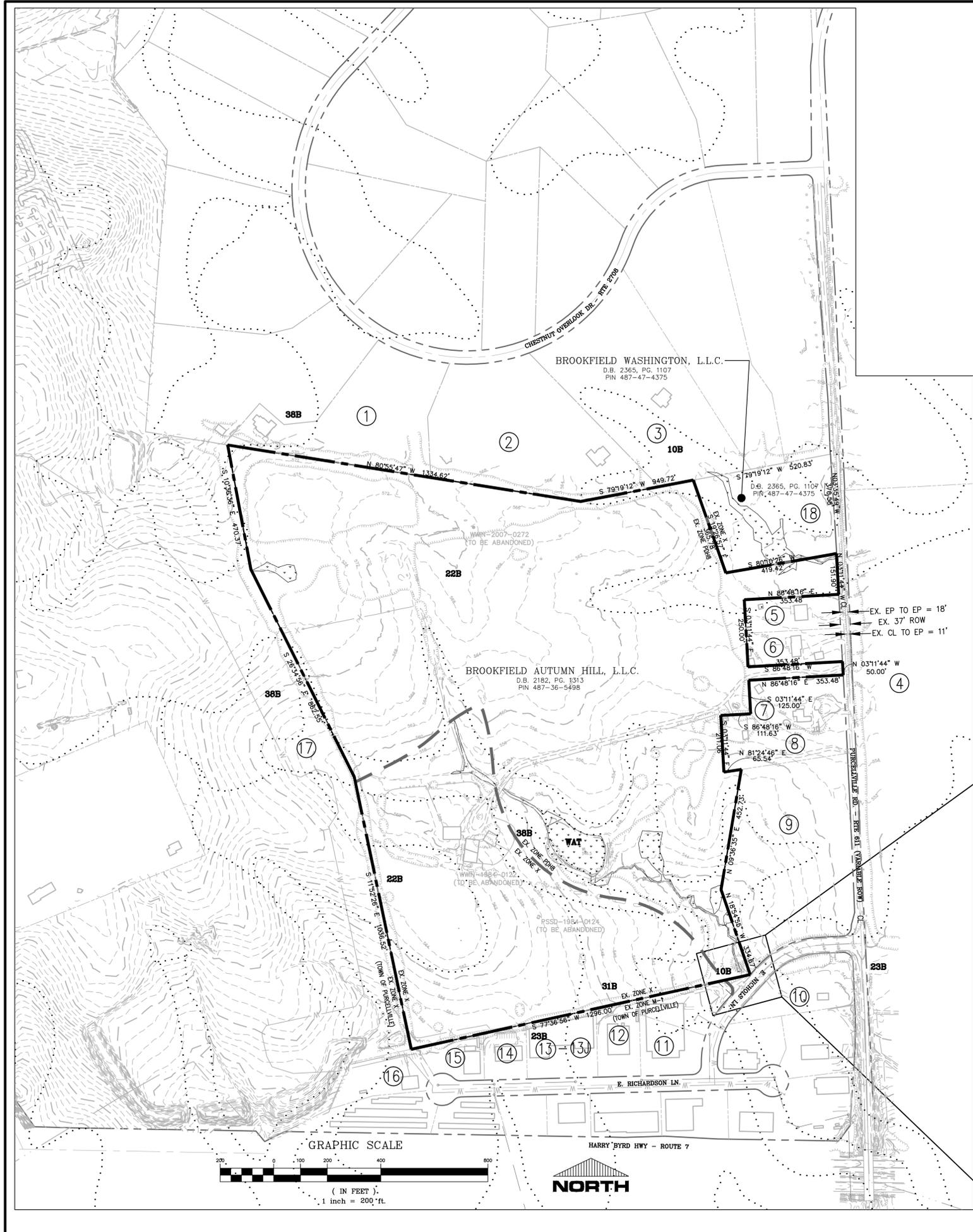
BLUE RIDGE ELECTION DISTRICT TOWN OF PURCELLVILLE, VIRGINIA

PLAN STATUS	
4/7/14	TOWN/VDOT COMM.
4/7/14	TOWN COMM.

DATE	DESCRIPTION
PH DESIGN	JMM DRAWN
	CMM CHKD
SCALE: AS SHOWN	
JOB No.	5184-01-008
DATE	JANUARY, 2014
FILE No.	5184-D-ZP-001

SHEET 1 OF 9

Code file name: P:\5184-01-008 (P&I) - Mayfair final Development Plan (Sheet\1-cover.dwg) - Autumn Hill (5184-01-008 (P&I) - Mayfair final Development Plan (Sheet\1-cover.dwg)



ADJACENT OWNER LIST

MAP ID	PIN	TAX MAP	CURRENT OWNER	ADDRESS	ACREAGE	ZONE	USE
1	486160412000	/35//47//112/	HIGHTOWER, JOHN D & LORRAINE M TEES	16767 CHESTNUT OVERLOOK DR, PURCELLVILLE, VA 20132	5.98	JLMA3	SINGLE FAMILY
2	486163307000	/35//47//113/	BLACK, SCOTT M & LUCINDA	16799 CHESTNUT OVERLOOK DR, PURCELLVILLE, VA 20132	6.90	JLMA3	SINGLE FAMILY
3	486169323000	/35//47//115/	FARROW, DONALD & MARY GALLAGHER	16809 CHESTNUT OVERLOOK DR, PURCELLVILLE, VA 20132	6.72	JLMA3	SINGLE FAMILY
4	486171673000	/35//47//116/	CIABURRI, JEFFEREY & KELLY	16855 CHESTNUT OVERLOOK DR, PURCELLVILLE, VA 20132	6.45	JLMA3	SINGLE FAMILY
5	486174419000	/35//47//114/	STILLER, TIMOTHY G SR	16873 CHESTNUT OVERLOOK DR, PURCELLVILLE, VA 20132	7.00	JLMA3	SINGLE FAMILY
6	486189496000	/35//111//117/	G B M G LLP	2905 HUNTING HILLS CT, OAKTON, VA 22124 1743	119.12	JLMA3	AGRICULTURAL (FARM)
7	487388931000	/35//111//118/	WARNER, CECIL & T LATORRE TEES ETAL	17100 PURCELLVILLE RD, PURCELLVILLE, VA 20132	118.81	JLMA3	AGRICULTURAL (FARM)
8	487474936000	/35//111//114/	LIVESAY, GREGORY F & SALLY O C	16921 PURCELLVILLE RD, PURCELLVILLE, VA 20132	1.03	JLMA2	SINGLE FAMILY
9	487475223000	/35//111//113/	NORTON, HUGH RAYMOND	16937 PURCELLVILLE RD, PURCELLVILLE, VA 20132	1.03	JLMA2	SINGLE FAMILY
10	487475203000	/35//111//112/	BAKER, WILLIAM C JR & JENNIFER N	PO BOX 2578, PURCELLVILLE, VA 20134	1.43	JLMA2	SINGLE FAMILY
11	487373884000	/35//111//111/	BAKER, WILLIAM C JR & JENNIFER N	PO BOX 2578, PURCELLVILLE, VA 20134	1.63	JLMA2	SINGLE FAMILY
12	487375244000	/35//111//115/	COCKERILL, KELLY M & MARILYN JARVIS	19727 TELEGRAPH SPRINGS RD, PURCELLVILLE, VA 20132	7.15	JLMA3	SINGLE FAMILY
13	487275796000	/35//111//111/	DONOHUE, C LAVONNE & G COCHRAN TEES	PO BOX 798, VALLEY FORGE, PA 19482	1.70	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
14	487270472000	/35//111//115F	MAGNUM REAL ESTATE LP	150 MAIN ST, LANDISVILLE, PA 17538	2.00	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
15	487268676000	/35//111//114F	SCHULZE, PERRY L & DENISE E	40902 CAMELOT PL, LEESBURG, VA 20175	1.00	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
16	487266475000		CONDOMINIUM COMMON ELEMENT		1.39	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
16A	487266475001	/35//12CM//11A	MOORE, SUZANNE M.	714 IRVINE BANK LN, PURCELLVILLE VA 20132 3453	NA	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
16B	487266475002	/35//12CM//11B	HANSON, JOHN LJR & PATRICIA TEES	9440 LAKEBEND PRESERVE CT, BONITA SPRINGS, FL 34135 8198	NA	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
16C	487266475003	/35//12CM//11C	LIGHTING BOLT LLC	19431 HARMONY CHURCH RD, LEESBURG VA 20175 9046	NA	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
16D	487266475004	/35//12CM//11D	COOK, JIMMY L & LINDA F	12 E RICHARDSON LN UNIT D, PURCELLVILLE VA 20132 3500	NA	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
16E	487266475005	/35//12CM//11E	WALSH, GERALD & NANCY S	PO BOX 877 PURCELLVILLE VA 20134 0877	NA	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
16F	487266475006	/35//12CM//11F	NESSERODTE PROPERTIES LLC	PO BOX 97 HAMILTON VA 20159 0097	NA	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
16G	487266475007	/35//12CM//11G	WALSH, GERALD L & NANCY S	PO BOX 877 PURCELLVILLE VA 20134 0877	NA	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
16H	487266475008	/35//12CM//11H	NASR, AHMED & SAMANTHA	604 KRISTIN CT SE, LEESBURG VA 20175 8979	NA	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
16I	487266475009	/35//12CM//11I	HANSON, JOHN LJR & PATRICIA TEES	10000 ORCHID RIDGE LN, BONITA SPRINGS, FL 34135 2039	NA	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
16J	487266475010	/35//12CM//11J	HANSON, JOHN LJR & PATRICIA TEES	10000 ORCHID RIDGE LN, BONITA SPRINGS, FL 34135 2039	NA	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
17	487264571000	/35//111//111F	WALSHS VIP AUTO SERVICE LLC	37216 E RICHARDSON LN, PURCELLVILLE, VA 20132	0.70	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL
18	487262670000	/35//111//110F	STATEWIDE ENTERPRISES LLC	PO BOX 1038, STERLING, VA 20167	0.71	M-1 (PURCELLVILLE)	COMMERCIAL/INDUSTRIAL

SOILS DESCRIPTIONS

TYPE	NAME	GROUP	SLOPE	CLASS	HYDRIC SOILS
10B	MONGLE LOAM	D	0-7%	IV	NO
22B	PURCELLVILLE-SWAMPOODLE COMPLEX	B	2-7%	II	NO
23B	PURCELLVILLE SILT LOAM	B	2-7%	I	NO
31B	PHILOMONT AND TANKERVILLE	B	2-7%	I	NO
38B	SWAMPOODLE SILT LOAM	C	1-7%	IV WP	NO

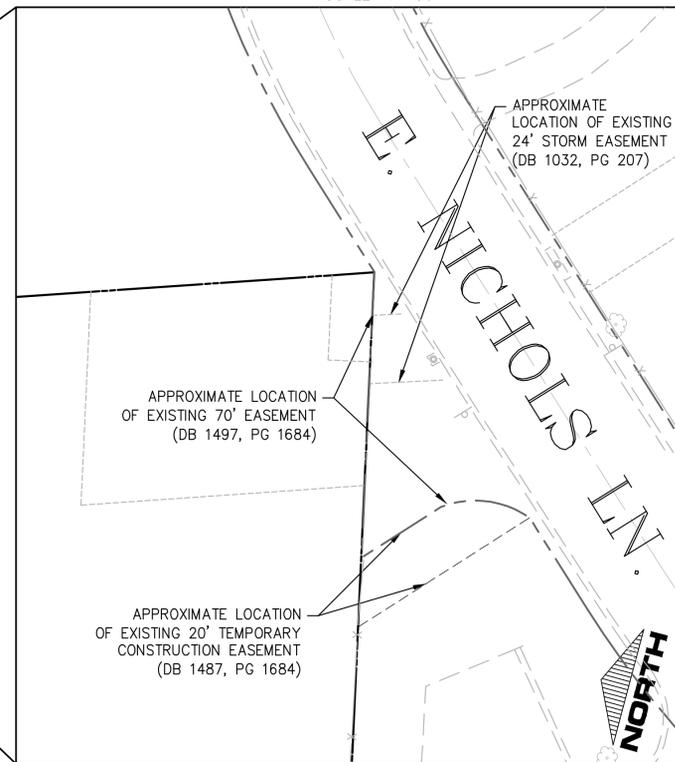
- THE SUBJECT DEVELOPMENT SITE DOES CONTAIN CLASS IV SOIL, PER THE LATEST COUNTY SOILS MAP AND AS IDENTIFIED BY THE INTERPRETIVE GUIDE TO THE USE OF SOILS MAP, LOUDOUN COUNTY VIRGINIA.
- THERE ARE NO STEEP SLOPES LOCATED WITHIN THE LIMITS OF THIS APPLICATION, PER LOUDOUN COUNTY GIS STEEP SLOPES DATA.
- EXISTING ON-SITE STRUCTURES ARE TO BE DEMOLISHED.

GENERAL VEGETATION DESCRIPTION

THE EXISTING VEGETATION WITHIN THE LIMITS OF THIS APPLICATION CONSISTS OF MOSTLY OPEN FIELD WITH MATURE HEDGEROWS SCATTERED THROUGHOUT. SMALLER POODS OF IMMATURE TO MATURE HARDWOOD FOREST ARE LOCATED IN THE NORTHWEST CORNER OF THE SITE WHILE A LARGER HARDWOOD FOREST EXISTS ALONG THE SOUTHEASTERN PORTION OF THE SITE AND EXTENDS ALONG THE EASTERN EDGE OF THE PROPERTY TO THE NORTHERN MOST PROPERTY LINE.

EXISTING EASEMENTS ALONG E. NICHOLS LANE

SCALE: 1"=30'



LEGEND

- LIMITS OF APPLICATION
- ZONING BOUNDARY LINE
- EXISTING BUILDING
- - - 255 EXISTING TWO FOOT CONTOUR
- - - 260 EXISTING TEN FOOT CONTOUR
- EXISTING STREAM
- ADJACENT OWNER LOT BOUNDARY
- EXISTING FENCE
- EXISTING GAS LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING UNDERGROUND FIBEROPTIC
- EXISTING STORM PIPE
- EXISTING WOODS LINE
- DENOTES SOIL TYPE
- EX. DRAINFIELD
- DELINEATED WETLANDS
- EXISTING WATERLINE
- EXISTING SANITARY SEWER

Bowman Consulting Group, Ltd.
101 South Street, S.E.
Leesburg, Virginia 20175
Phone: (703) 443-2400
Fax: (703) 443-2425
www.bowmanconsulting.com
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EXISTING CONDITIONS
MAYFAIR
FINAL DEVELOPMENT PLAN
BLUE RIDGE ELECTION DISTRICT TOWN OF PURCELLVILLE, VIRGINIA

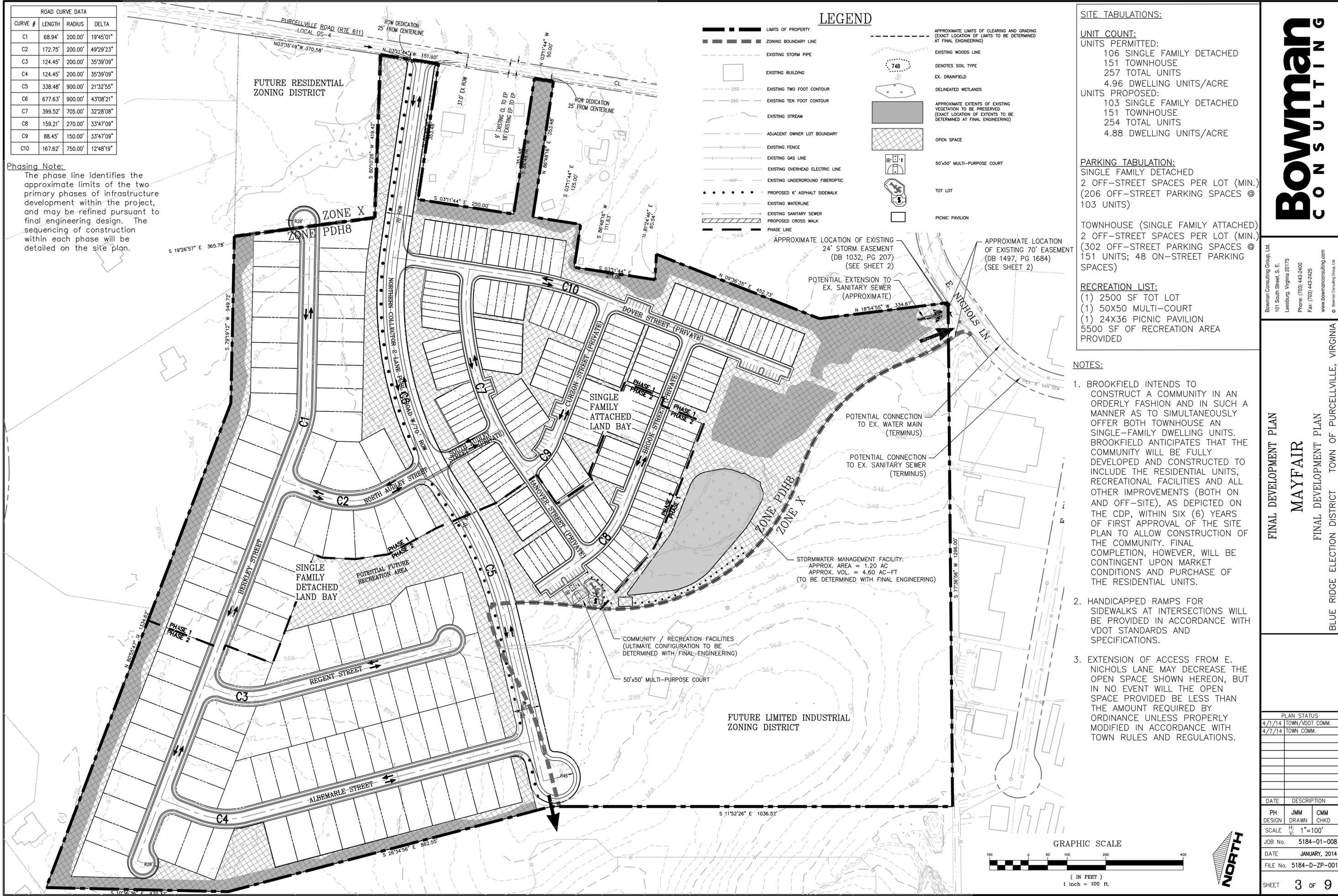
PLAN STATUS	
4/1/14	TOWN/VDOT COMM.
4/7/14	TOWN COMM.

DATE	DESCRIPTION
PH DESIGN	JMM
SCALE	AS SHOWN
JOB No.	5184-01-008
DATE	JANUARY, 2014
FILE No.	5184-D-ZP-001

SHEET **2** OF **9**

ROAD CURVE DATA			
CURVE #	LENGTH	RADIUS	DELTA
C1	68.94'	200.00'	19°45'01"
C2	172.75'	200.00'	49°29'23"
C3	124.45'	200.00'	35°39'09"
C4	124.45'	200.00'	35°39'09"
C5	338.48'	900.00'	21°32'55"
C6	677.63'	900.00'	43°08'21"
C7	399.52'	705.00'	32°28'08"
C8	159.21'	270.00'	33°47'09"
C9	88.45'	150.00'	33°47'09"
C10	167.62'	750.00'	12°48'19"

Phasing Note:
The phase line identifies the approximate limits of the two primary phases of infrastructure development within the project, and may be refined pursuant to final engineering design. The sequencing of construction within each phase will be detailed on the site plan.



LEGEND

- LIMITS OF PROPERTY
- ZONING BOUNDARY LINE
- EXISTING STORM PIPE
- EXISTING BUILDING
- EXISTING TWO FOOT CONTOUR
- EXISTING TEN FOOT CONTOUR
- EXISTING STREAM
- ADJACENT OWNER LOT BOUNDARY
- EXISTING FENCE
- EXISTING GAS LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING UNDERGROUND FIBEROPTIC
- PROPOSED 6' ASPHALT SIDEWALK
- EXISTING WATERLINE
- EXISTING SANITARY SEWER
- PROPOSED CROSS WALK
- PHASE LINE
- APPROXIMATE LIMITS OF CLEARING AND GRADING (EXACT LOCATION OF LIMITS TO BE DETERMINED AT FINAL ENGINEERING)
- EXISTING WOODS LINE
- DENOTES SOIL TYPE
- EX. DRAINFIELD
- DELINEATED WETLANDS
- APPROXIMATE EXTENTS OF EXISTING VEGETATION TO BE PRESERVED (EXACT LOCATION OF EXTENTS TO BE DETERMINED AT FINAL ENGINEERING)
- OPEN SPACE
- 50'x50' MULTI-PURPOSE COURT
- TOT LOT
- PICNIC PAVILION

SITE TABULATIONS:

UNIT COUNT:
UNITS PERMITTED:
106 SINGLE FAMILY DETACHED
151 TOWNHOUSE
257 TOTAL UNITS
4.96 DWELLING UNITS/ACRE

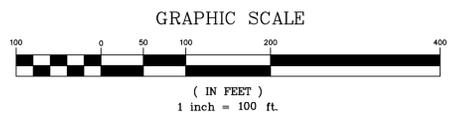
UNITS PROPOSED:
103 SINGLE FAMILY DETACHED
151 TOWNHOUSE
254 TOTAL UNITS
4.88 DWELLING UNITS/ACRE

PARKING TABULATION:
SINGLE FAMILY DETACHED
2 OFF-STREET SPACES PER LOT (MIN.)
(206 OFF-STREET PARKING SPACES @ 103 UNITS)

TOWNHOUSE (SINGLE FAMILY ATTACHED)
2 OFF-STREET SPACES PER LOT (MIN.)
(302 OFF-STREET PARKING SPACES @ 151 UNITS; 48 ON-STREET PARKING SPACES)

RECREATION LIST:
(1) 2500 SF TOT LOT
(1) 50X50 MULTI-COURT
(1) 24X36 PICNIC PAVILION
5500 SF OF RECREATION AREA PROVIDED

- NOTES:**
- BROOKFIELD INTENDS TO CONSTRUCT A COMMUNITY IN AN ORDERLY FASHION AND IN SUCH A MANNER AS TO SIMULTANEOUSLY OFFER BOTH TOWNHOUSE AND SINGLE-FAMILY DWELLING UNITS. BROOKFIELD ANTICIPATES THAT THE COMMUNITY WILL BE FULLY DEVELOPED AND CONSTRUCTED TO INCLUDE THE RESIDENTIAL UNITS, RECREATIONAL FACILITIES AND ALL OTHER IMPROVEMENTS (BOTH ON AND OFF-SITE), AS DEPICTED ON THE CDP, WITHIN SIX (6) YEARS OF FIRST APPROVAL OF THE SITE PLAN TO ALLOW CONSTRUCTION OF THE COMMUNITY. FINAL COMPLETION, HOWEVER, WILL BE CONTINGENT UPON MARKET CONDITIONS AND PURCHASE OF THE RESIDENTIAL UNITS.
 - HANDICAPPED RAMPS FOR SIDEWALKS AT INTERSECTIONS WILL BE PROVIDED IN ACCORDANCE WITH VDOT STANDARDS AND SPECIFICATIONS.
 - EXTENSION OF ACCESS FROM E. NICHOLS LANE MAY DECREASE THE OPEN SPACE SHOWN HEREON, BUT IN NO EVENT WILL THE OPEN SPACE PROVIDED BE LESS THAN THE AMOUNT REQUIRED BY ORDINANCE UNLESS PROPERLY MODIFIED IN ACCORDANCE WITH TOWN RULES AND REGULATIONS.



Bowman
CONSULTING

Bowman Consulting Group, Ltd.
101 South Street, S.E.
Leeburg, Virginia 20175
Phone: (703) 443-2400
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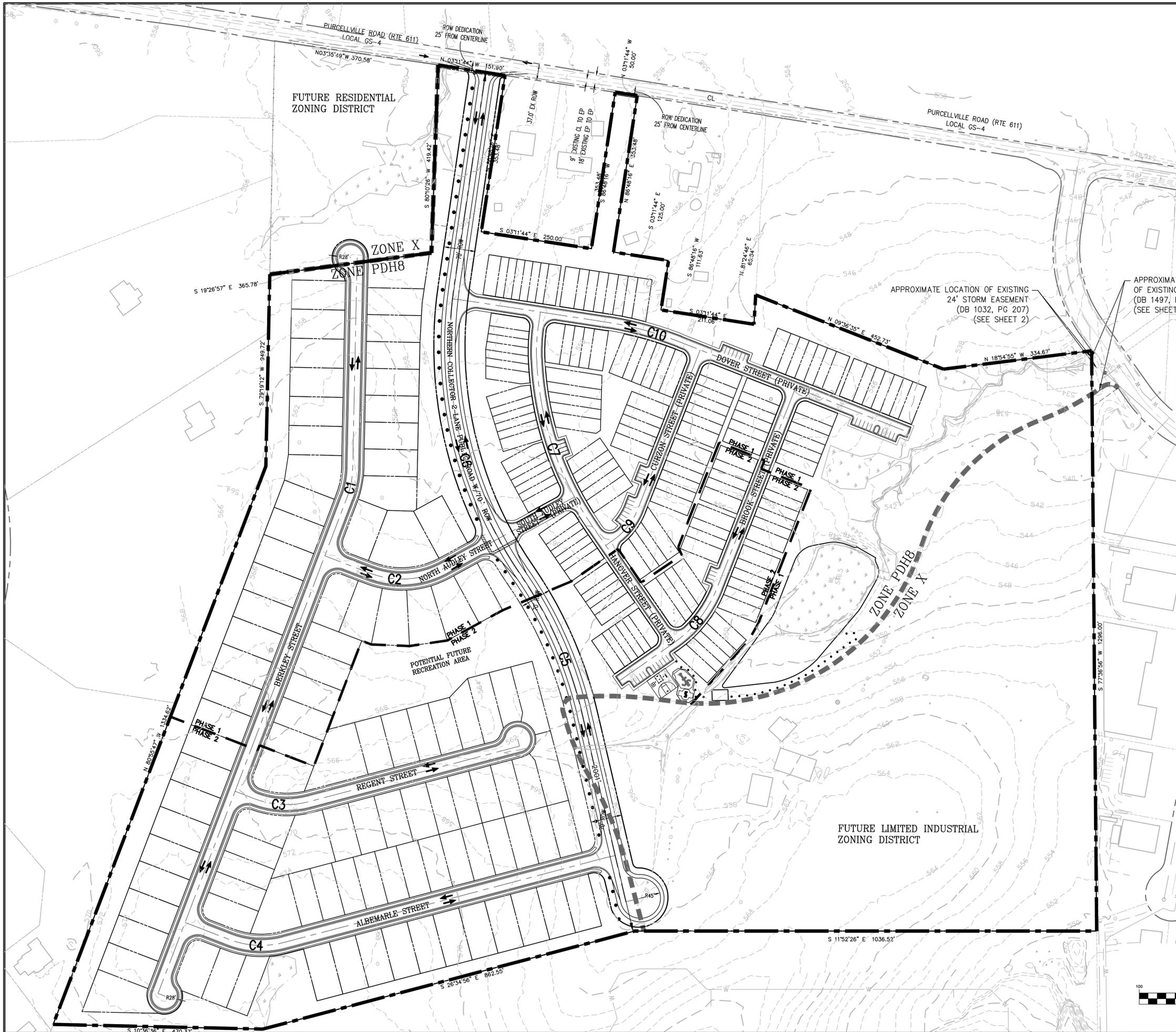
FINAL DEVELOPMENT PLAN
MAYFAIR
FINAL DEVELOPMENT PLAN

BLUE RIDGE ELECTION DISTRICT TOWN OF PURCELLVILLE, VIRGINIA

PLAN STATUS		
4/7/14	TOWN/VDOT COMM.	
4/7/14	TOWN COMM.	

DATE	DESCRIPTION
PH DESIGN	JMM DRAWN
	CMM CHKD
SCALE	H: 1"=100'
JOB No.	5184-01-008
DATE	JANUARY, 2014
FILE No.	5184-D-ZP-001
SHEET	3 OF 9

P:\134 - Autumn 2013\5184-01-008 (PLAN) - Mayfair Final Development Plan (Planning) Final Development Plan (Sheet 3) - CDP.dwg
 4/7/14 11:40 AM RJC
 5184-01-008 (PLAN) - Mayfair Final Development Plan (Planning) Final Development Plan (Sheet 3) - CDP.dwg

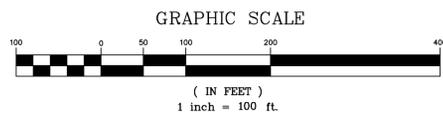


NOTE:
HANDICAPPED RAMPS FOR SIDEWALKS AT INTERSECTIONS WILL BE PROVIDED IN ACCORDANCE WITH VDOT STANDARDS AND SPECIFICATIONS.

ROAD CURVE DATA			
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C1	68.94'	200.00'	19°45'01"
C2	172.75'	200.00'	49°29'23"
C3	124.45'	200.00'	35°39'09"
C4	124.45'	200.00'	35°39'09"
C5	338.48'	900.00'	21°32'55"
C6	677.63'	900.00'	43°08'21"
C7	399.52'	705.00'	32°28'08"
C8	159.21'	270.00'	33°47'09"
C9	88.45'	150.00'	33°47'09"
C10	167.62'	750.00'	12°48'19"

Phasing Note:
The phase line identifies the approximate limits of the two primary phases of infrastructure development within the project, and may be refined pursuant to final engineering design. The sequencing of construction within each phase will be detailed on the site plan.

LEGEND	
	LIMITS OF APPLICATION
	ZONING BOUNDARY LINE
	EXISTING BUILDING
	EXISTING TWO FOOT CONTOUR
	EXISTING TEN FOOT CONTOUR
	EXISTING STREAM
	ADJACENT OWNER LOT BOUNDARY
	EXISTING FENCE
	EXISTING GAS LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING UNDERGROUND FIBEROPTIC
	EXISTING STORM PIPE
	EXISTING WOODS LINE
	DENOTES SOIL TYPE
	VEHICULAR TRAFFIC DIRECTION
	EX. DRAINFIELD
	DELINEATED WETLANDS
	PROPOSED SIDEWALK/TRAIL
	EXISTING WATERLINE
	EXISTING SANITARY SEWER
	PHASE LINE



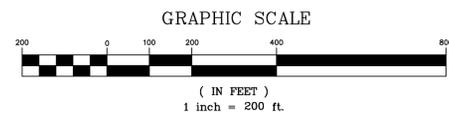
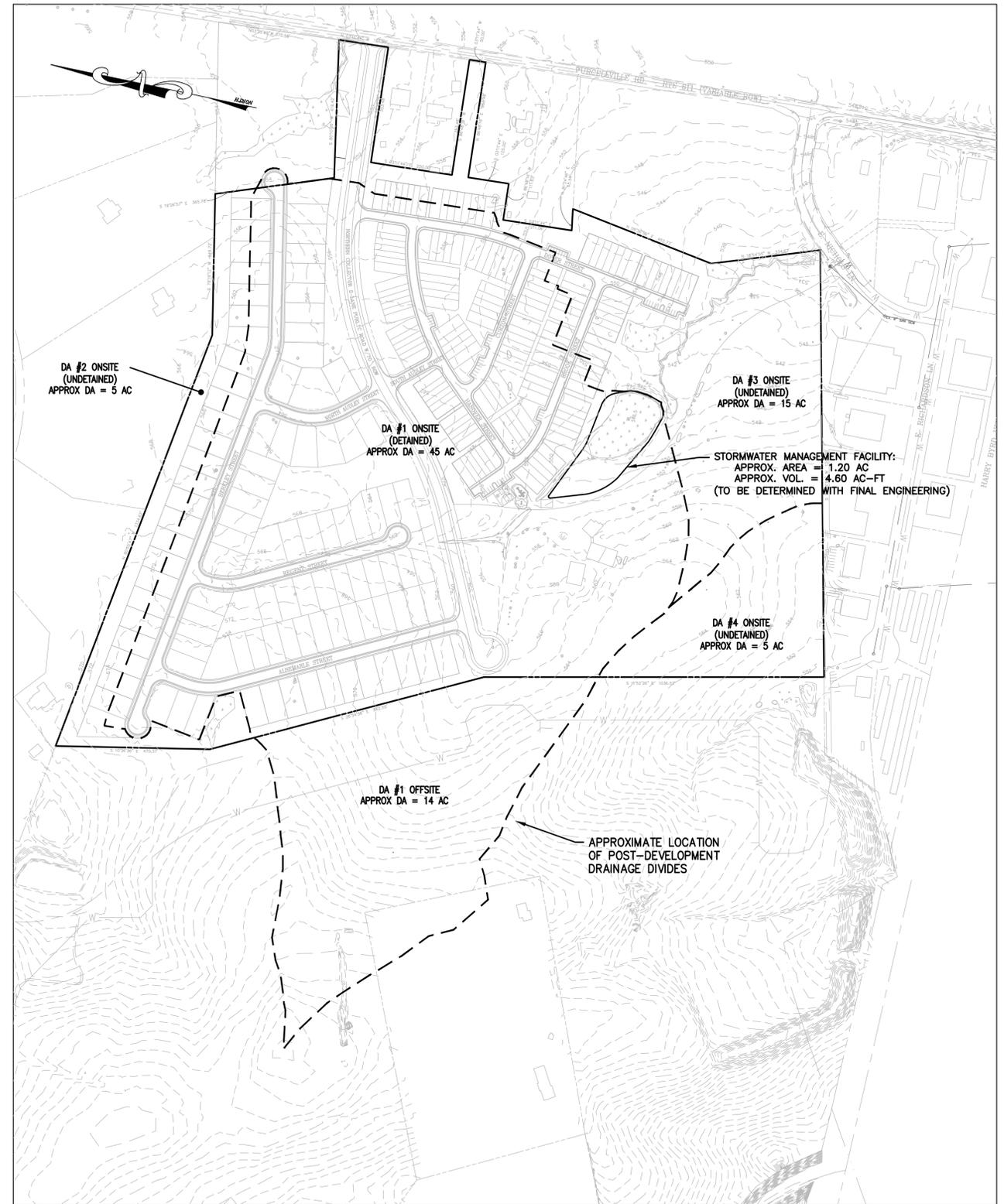
PLAN STATUS	
4/1/14	TOWN/VDOT COMM.
4/7/14	TOWN COMM.

DATE	DESCRIPTION
RH	JMM
DESIGN	DRAWN
	CMM
	CHKD
SCALE	H: 1"=100'
JOB No.	5184-01-008
DATE	JANUARY, 2014
FILE No.	5184-D-ZP-001
SHEET	5 OF 9

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OVERALL DRAINAGE DIVIDES MAP



PLAN STATUS	
4/1/14	TOWN/VDOT COMM.
4/7/14	TOWN COMM.

DATE	DESCRIPTION
RH	JMM
DESIGN	DRAWN
	CHKD

SCALE: H: 1"=200'
V: 1"=200'

JOB No. 5184-01-008

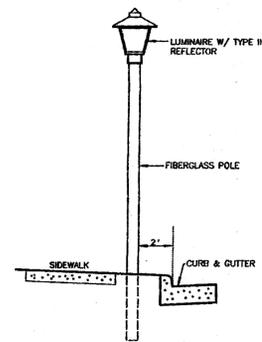
DATE: JANUARY, 2014

FILE No. 5184-D-ZP-001

SHEET 6 OF 9

Code file name: 5184-D-ZP-001-06.dwg

Plot Date: 1/14/2014 10:00 AM



LUMINAIRE (MIN.)	MOUNTING HEIGHT (FEET)
5000 LUMENS	14

STREET LIGHT DETAIL

(NOT TO SCALE)

- NOTES: 1) THE HOA WILL BE RESPONSIBLE FOR MAINTAINING STREET LIGHTS
- 2) LIGHTING SHALL BE PROVIDED IN ACCORDANCE WITH THE PURCELLVILLE ZONING ORDINANCE, ARTICLE 6, SECTION 9.
- 3) ALL LIGHTING FIXTURES SHALL BE CUTOFF AND FULLY SHIELDED.

STOP SIGN DETAIL



R1-1

HOUSING TYPICALS

SFD Unit Typical

The following table specifies the minimum standards for the SFD Unit type.

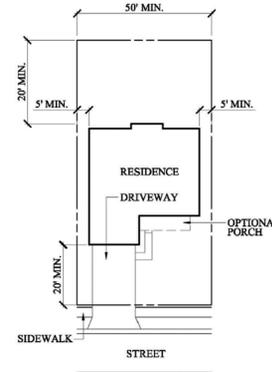
Minimum lot area	5000 sq. ft.
Minimum Lot Width:	50 ft.
Minimum Lot Depth:	100 ft.
Maximum building height	45 ft. (Max height at the peak of the roof)
Minimum setbacks:	
Front setback to house	20 ft.
Side	5 ft.
Both Side(s)	10 ft.
Corner lot (side)	10 ft.
Rear lot line to house	20 ft.
Rear lot line to garage (for detached garage)	5 ft.

Minimum setbacks for unroofed landings, porches, decks, steps, stoops, patios, chimneys, retaining walls four (4) feet or higher, as determined by the Building Code, and driveways constructed, all of which are greater than eight (8) inches above existing grade in any combination shall be:

Front	15 ft.
Side	5 ft.
Corner lot (side)	10 ft.
Rear	8 ft.

Note: Rear yard privacy fencing and decking is intended to be placed in the rear yard area, and may not be forward of the rear plane of the house.

Minimum building setbacks exclude architectural features such as, but not limited to, windows, sills, cornices, eaves, gutters, masonry veneer, and bay windows, but excluding floor area supported by cantilevered construction. No setback shall apply to unroofed patios, walkways, sidewalks, areaways, and driveways constructed eight (8) inches or less above existing grade within five (5) feet of said feature of the contour of the land.



HOUSING TYPICALS

Townhouse Unit Typical

The following table specifies the minimum standards for the Townhouse Unit type.

Minimum lot area	1200 sq. ft.
Minimum Lot Width:	16 ft.
Minimum lot width shall be 26 ft. for end and corner lots	
Minimum Lot Depth:	80 ft.
Maximum building height	45 ft. (Max height at the peak of the roof)
Maximum Lot Coverage	60%
Minimum setbacks:	
Front setback to house	10 ft.
Side (end unit)	10 ft.
Rear lot line to house	18 ft.
Rear lot line to garage (for detached garage)	5 ft.

Every dwelling unit shall have a minimum gross floor area of 1000 square feet with a minimum of 500 square feet per floor, exclusive of attic and exclusive of basements which are more than 50 percent underground. Building setback variations shall be at least 18 inches.

The 20 foot open space between TH buildings includes on lot green space.

No more than 80 lots shall abut a parking lot or access court. Two access connections shall serve no more than 160 lots. All private streets shall be at least 24 feet in pavement width, exclusive of parking.

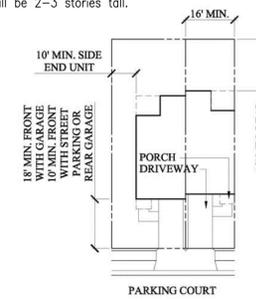
Minimum setbacks for unroofed landings, porches, decks, steps, stoops, patios, chimneys, retaining walls four (4) feet or higher, as determined by the Building Code, and driveways constructed, all of which are greater than eight (8) inches above existing grade in any combination shall be:

Front	5 ft.
Side (end unit)	5 ft.
Rear	8 ft.

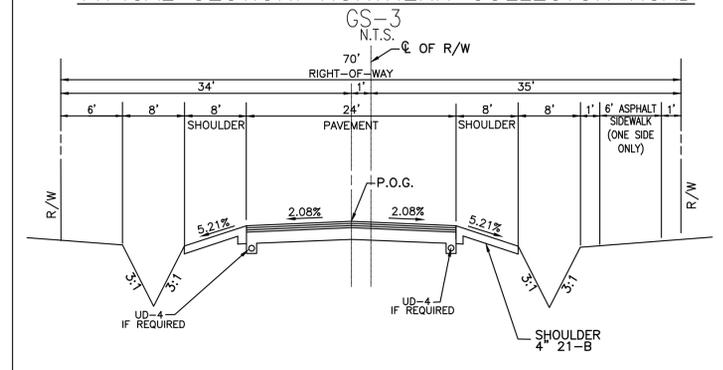
Note: Rear yard privacy fencing and decking is intended to be placed in the rear yard area, and may not be forward of the rear plane of the house.

Minimum building setbacks exclude architectural features such as, but not limited to, windows, sills, cornices, eaves, gutters, masonry veneer, and bay windows, but excluding floor area supported by cantilevered construction. No setback shall apply to unroofed patios, walkways, sidewalks, areaways, and driveways constructed eight (8) inches or less above existing grade within five (5) feet of said feature of the contour of the land.

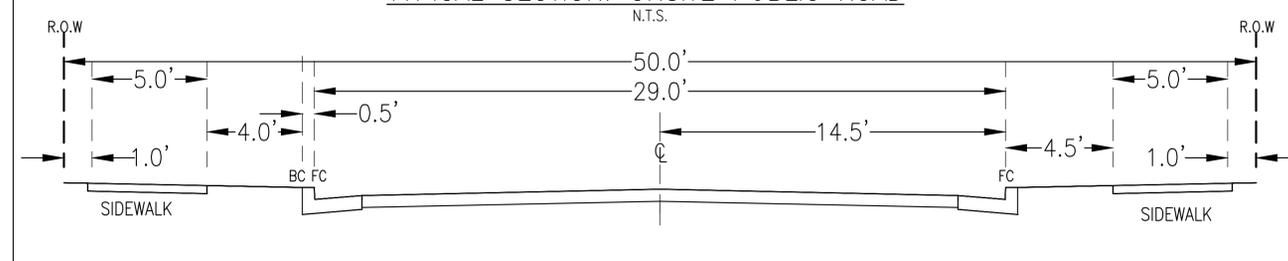
Note: Townhouse units shall be 2-3 stories tall.



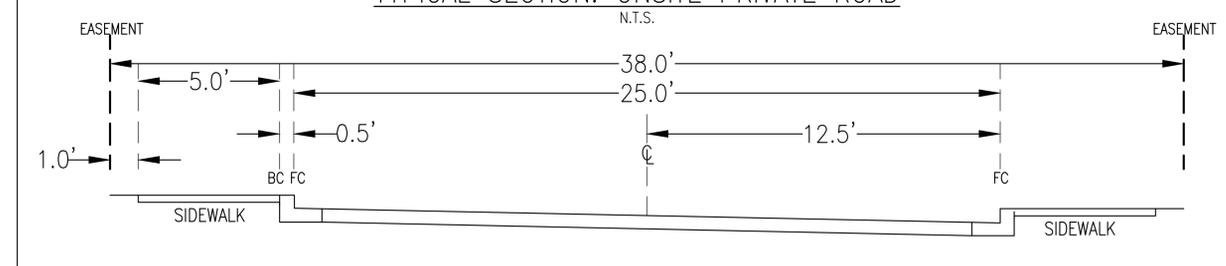
TYPICAL SECTION: NORTHERN COLLECTOR ROAD



TYPICAL SECTION: ONSITE PUBLIC ROAD



TYPICAL SECTION: ONSITE PRIVATE ROAD



NOTES FOR TYPICAL PRIVATE ROAD SECTION:

- SECTION ABOVE SHALL HAVE A MINIMUM CENTERLINE RADIUS OF 60'
- SECTION ABOVE SHALL HAVE A MINIMUM INTERSECTION SPACING OF 100'

PLAN STATUS	
4/1/14	TOWN/VDOT COMM.
4/7/14	TOWN COMM.

DATE	DESCRIPTION
PH	JMM
DESIGN	DRAWN
	CMM
	CHKD

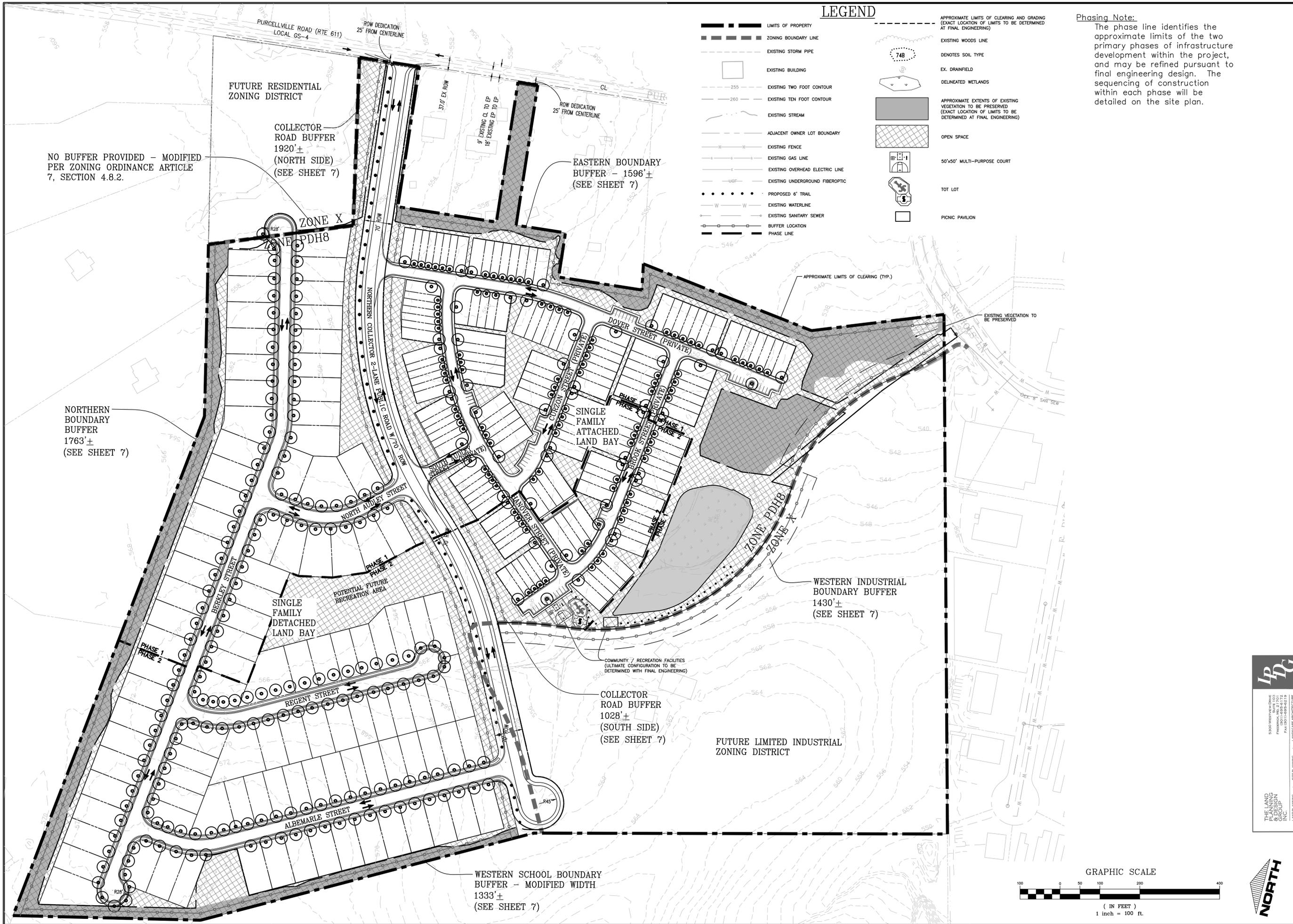
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JOB No. 5184-01-008

DATE JANUARY, 2014

FILE No. 5184-D-ZP-001

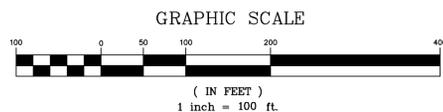
SHEET 7 OF 9



LEGEND

- LIMITS OF PROPERTY
 - ZONING BOUNDARY LINE
 - - - EXISTING STORM PIPE
 - EXISTING BUILDING
 - - - 255 EXISTING TWO FOOT CONTOUR
 - - - 260 EXISTING TEN FOOT CONTOUR
 - ~ EXISTING STREAM
 - ADJACENT OWNER LOT BOUNDARY
 - - - EXISTING FENCE
 - - - EXISTING GAS LINE
 - - - EXISTING OVERHEAD ELECTRIC LINE
 - - - EXISTING UNDERGROUND FIBEROPTIC
 - PROPOSED 6" TRAIL
 - - - EXISTING WATERLINE
 - - - EXISTING SANITARY SEWER
 - - - BUFFER LOCATION
 - - - PHASE LINE
- APPROXIMATE LIMITS OF CLEARING AND GRADING (EXACT LOCATION OF LIMITS TO BE DETERMINED AT FINAL ENGINEERING)
 - EXISTING WOODS LINE
 - DENOTES SOIL TYPE
 - EX. DRAINFIELD
 - DELINEATED WETLANDS
 - APPROXIMATE EXTENTS OF EXISTING VEGETATION TO BE PRESERVED (EXACT LOCATION OF LIMITS TO BE DETERMINED AT FINAL ENGINEERING)
 - OPEN SPACE
 - 50'x50' MULTI-PURPOSE COURT
 - TOT LOT
 - PICNIC PAVILION

Phasing Note:
 The phase line identifies the approximate limits of the two primary phases of infrastructure development within the project, and may be refined pursuant to final engineering design. The sequencing of construction within each phase will be detailed on the site plan.



Bowman Consulting Group, Ltd.
 101 South Street, S. E.
 Leesburg, Virginia 20175
 Phone: (703) 443-2400
 Fax: (703) 443-2425
 www.bowmanconsulting.com
 © Bowman Consulting Group, Ltd.

OPEN SPACE AND LANDSCAPE PLAN
MAYFAIR
 FINAL DEVELOPMENT PLAN
 BLUE RIDGE ELECTION DISTRICT TOWN OF PURCELLVILLE, VIRGINIA

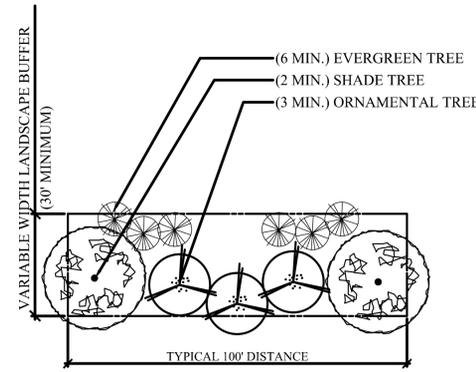
LPDC
 2300 WESTVIEW DRIVE
 FREDERICKSBURG, VA 22405
 FAX (541) 489-8219
 LANDSCAPE ARCHITECTURE

PLAN STATUS	
4/1/14	TOWN/VOOT COMM.
4/7/14	TOWN COMM.

DATE	DESCRIPTION
PH DESIGN	JMM DRAWN
	CMM CHKD
SCALE	1" = 100'
JOB No.	5184-01-008
DATE	JANUARY, 2014
FILE No.	5184-D-ZP-001
SHEET	8 OF 9



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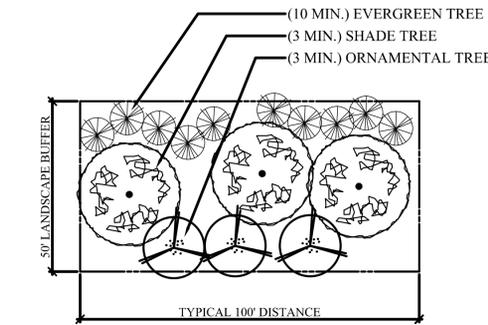


COLLECTOR ROAD BUFFER

SCALE: 1" = 30'

NOTE: EXISTING TREE SAVE MAY BE SUBSTITUTED IN LIEU OF BUFFER PLANTINGS WHEN THE TREE SAVE MEETS THE INTENT OF THE BUFFER PLANTINGS. EXACT PLANTING LOCATIONS MAY BE ADJUSTED AT TIME OF FINAL ENGINEERING. TOTAL PLANT QUANTITY REQUIREMENT BASED UPON OVERALL TOTAL BUFFER DISTANCE. EVERGREEN TREES AND ORNAMENTAL TREES ARE INTERCHANGEABLE IN MEETING THE TOTAL TREE QUANTITY REQUIREMENT OF NON-SHADE TREES PER 100 FT, PROVIDED THAT THERE WILL BE A MINIMUM OF SIX (6) EVERGREENS PER 100 FT.

MIN. SPECIFICATIONS FOR PLANT MATERIAL WILL FOLLOW ZONING ORDINANCE ARTICLE 7, SECTION 6.3

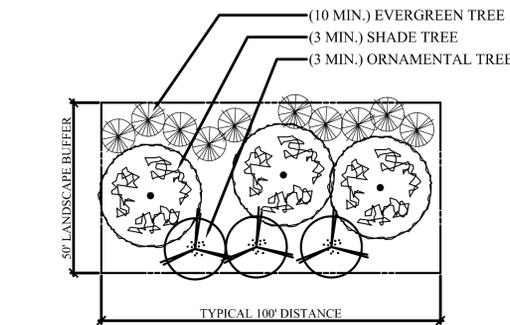


NORTHERN BOUNDARY BUFFER

SCALE: 1" = 30'

NOTE: EXISTING TREE SAVE MAY BE SUBSTITUTED IN LIEU OF BUFFER PLANTINGS WHEN THE TREE SAVE MEETS THE INTENT OF THE BUFFER PLANTINGS. EXACT PLANTING LOCATIONS MAY BE ADJUSTED AT TIME OF FINAL ENGINEERING. TOTAL PLANT QUANTITY REQUIREMENT BASED UPON OVERALL TOTAL BUFFER DISTANCE. EVERGREEN TREES AND ORNAMENTAL TREES ARE INTERCHANGEABLE IN MEETING THE TOTAL TREE QUANTITY REQUIREMENT OF NON-SHADE TREES PER 100 FT, PROVIDED THAT THERE WILL BE A MINIMUM OF SIX (6) EVERGREENS PER 100 FT.

MIN. SPECIFICATIONS FOR PLANT MATERIAL WILL FOLLOW ZONING ORDINANCE ARTICLE 7, SECTION 6.3

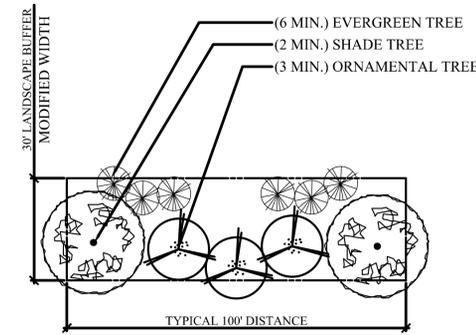


WESTERN INDUSTRIAL BOUNDARY BUFFER

SCALE: 1" = 30'

NOTE: EXISTING TREE SAVE MAY BE SUBSTITUTED IN LIEU OF BUFFER PLANTINGS WHEN THE TREE SAVE MEETS THE INTENT OF THE BUFFER PLANTINGS. EXACT PLANTING LOCATIONS MAY BE ADJUSTED AT TIME OF FINAL ENGINEERING. TOTAL PLANT QUANTITY REQUIREMENT BASED UPON OVERALL TOTAL BUFFER DISTANCE. EVERGREEN TREES AND ORNAMENTAL TREES ARE INTERCHANGEABLE IN MEETING THE TOTAL TREE QUANTITY REQUIREMENT OF NON-SHADE TREES PER 100 FT, PROVIDED THAT THERE WILL BE A MINIMUM OF SIX (6) EVERGREENS PER 100 FT.

MIN. SPECIFICATIONS FOR PLANT MATERIAL WILL FOLLOW ZONING ORDINANCE ARTICLE 7, SECTION 6.3

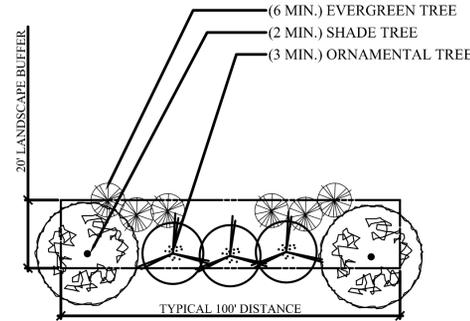


WESTERN SCHOOL BOUNDARY BUFFER

SCALE: 1" = 30'

NOTE: EXISTING TREE SAVE MAY BE SUBSTITUTED IN LIEU OF BUFFER PLANTINGS WHEN THE TREE SAVE MEETS THE INTENT OF THE BUFFER PLANTINGS. EXACT PLANTING LOCATIONS MAY BE ADJUSTED AT TIME OF FINAL ENGINEERING. TOTAL PLANT QUANTITY REQUIREMENT BASED UPON OVERALL TOTAL BUFFER DISTANCE. EVERGREEN TREES AND ORNAMENTAL TREES ARE INTERCHANGEABLE IN MEETING THE TOTAL TREE QUANTITY REQUIREMENT OF NON-SHADE TREES PER 100 FT, PROVIDED THAT THERE WILL BE A MINIMUM OF SIX (6) EVERGREENS PER 100 FT.

MIN. SPECIFICATIONS FOR PLANT MATERIAL WILL FOLLOW ZONING ORDINANCE ARTICLE 7, SECTION 6.3



EASTERN BOUNDARY BUFFER

SCALE: 1" = 30'

NOTE: EXISTING TREE SAVE MAY BE SUBSTITUTED IN LIEU OF BUFFER PLANTINGS WHEN THE TREE SAVE MEETS THE INTENT OF THE BUFFER PLANTINGS. EXACT PLANTING LOCATIONS MAY BE ADJUSTED AT TIME OF FINAL ENGINEERING. TOTAL PLANT QUANTITY REQUIREMENT BASED UPON OVERALL TOTAL BUFFER DISTANCE. EVERGREEN TREES AND ORNAMENTAL TREES ARE INTERCHANGEABLE IN MEETING THE TOTAL TREE QUANTITY REQUIREMENT OF NON-SHADE TREES PER 100 FT, PROVIDED THAT THERE WILL BE A MINIMUM OF SIX (6) EVERGREENS PER 100 FT.

BUFFER MAY INCREASE BUT WILL MAINTAIN A MINIMUM WIDTH OF 20'.

MIN. SPECIFICATIONS FOR PLANT MATERIAL WILL FOLLOW ZONING ORDINANCE ARTICLE 7, SECTION 6.3

NOTES

- EXISTING TREES WILL BE PRESERVED WHERE POSSIBLE BASED UPON FINAL ENGINEERING.
- ALL BUFFERS SHOWN WILL PRESERVE EXISTING TREES WHERE POSSIBLE BASED ON FINAL ENGINEERING.
- AS THE PROPERTY OWNER ON BOTH SIDES OF THE ZONING DISTRICT BOUNDARY, BROOKFIELD AGREES TO INSTALL A COMBINED LANDSCAPE BUFFER TOTALING 50 FEET, TO BE LOCATED ALONG THE WESTERN BOUNDARY ADJOINING THE SITE WHERE LIMITED INDUSTRIAL ZONING WILL BE REQUESTED IF THE PROPERTY IS ANNEXED. THIS 50 FOOT BUFFER MAY BE LOCATED EITHER ENTIRELY OR PARTIALLY ON EITHER SIDE OF THE ZONING BOUNDARY AS DETERMINED AT FINAL ENGINEERING. THIS BUFFER WILL PRESERVE EXISTING TREES WHERE POSSIBLE AND MAY INCORPORATE EARTHEN BERMS WITHIN THE 50 FOOT BUFFER BASED UPON FINAL ENGINEERING.
- FINAL OPEN SPACE PROVIDED MAY VARY BASED UPON FINAL ENGINEERING BUT WILL ALWAYS PROVIDE THE MINIMUM REQUIRED.
- MODIFICATIONS TO REQUIRED BUFFERS, WHERE NOTED OR OTHERWISE DESCRIBED HEREIN, ARE APPROVED BY THE ZONING ADMINISTRATOR, PURSUANT TO SECTION 4.8 OF THE TOWN OF PURCELLVILLE ZONING ORDINANCE, AND BY LETTER DATED DECEMBER 6, 2013.
- ALL STREET TREES DISPLAYED, INCLUDING THOSE LOCATED ON PRIVATE RESIDENTIAL LOTS OR COMMON AREA, ARE REQUIRED BY THE LANDSCAPE REGULATIONS OF THE TOWN OF PURCELLVILLE ZONING ORDINANCE. THESE TREES MUST BE MAINTAINED BY THE PROPERTY OWNER IN PERPETUITY, AND IN THE EVENT THAT A REQUIRED STREET TREE DIES, A REPLACEMENT TREE MUST BE PLANTED WITHIN 6 MONTHS.

LANDSCAPE CALCULATIONS

LANDSCAPE REQUIRED ON PUBLIC STREETS:

1 TREE / 40 LF OF STREET
10400 LF / 40 = 260 TREES REQUIRED

LANDSCAPE PROVIDED ON PUBLIC STREETS:
260 TREES PROVIDED

LANDSCAPE REQUIRED FOR (SFA) SINGLE FAMILY ATTACHED (PER 7C OF THE ACCEPTED PROFFERS DATED DECEMBER 6, 2013):

1 LARGE DECIDUOUS TREE / END UNIT
1 SMALL DECIDUOUS TREE / INTERIOR UNIT
52 END UNIT TREES REQUIRED
99 INTERIOR UNIT TREES REQUIRED

LANDSCAPE PROVIDED FOR SFA:
52 END UNIT TREES
99 INTERIOR UNIT TREES

NOTE: ALL SFA TREES MAY BE PLACED IN FRONT OR REAR YARDS, AS SPACE PERMITS. IF SPACE DOES NOT PERMIT, TREE REQUIREMENTS FOR SFA MAY BE LOCATED IN COMMON GREEN AREAS.

EXTERNAL PARKING LOT LANDSCAPING

LANDSCAPE REQUIRED FOR RESIDENTIAL PARKING LOT WITH 8 OR MORE SPACES
2 ORNAMENTAL TREES + 7 SHRUBS/40 LF OF PARKING LOT PERIMETER

310 LF* / 40 = 16 ORNAMENTAL TREES AND 56 SHRUBS REQUIRED

* TWO PARKING BAYS WITH 8 OR MORE SPACES EACH WITH PERIMETER OF +/- 155'

LANDSCAPE PROVIDED FOR RESIDENTIAL PARKING LOT WITH 8 OR MORE SPACES
16 ORNAMENTAL TREES
56 SHRUBS

NOTE: LOCATION OF EXTERNAL PARKING LOT LANDSCAPING TO BE DETERMINED DURING FINAL ENGINEERING AND SHOWN ON THE SITE PLAN.

DATE	DESCRIPTION
4/7/14	TOWN/VDOT COMM.
4/7/14	TOWN COMM.

PH	JMM	CMM
DESIGN	DRAWN	CHKD
SCALE: H: V:		
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